

# TYPE 'A' SITE PLAN FOR



## RESTAURANT #0734 1917 WEST TENNESSEE ST CITY OF TALLAHASSEE LEON COUNTY, FL SECTION 21 TOWNSHIP 1N RANGE 1W

Please incorporate and prominently display the following contractor notice on all site plans and environmental plans. This notice is provided to the contractor and owner to advise them of their ultimate responsibility of compliance with Florida Accessibility Code (aka Handicap Code).

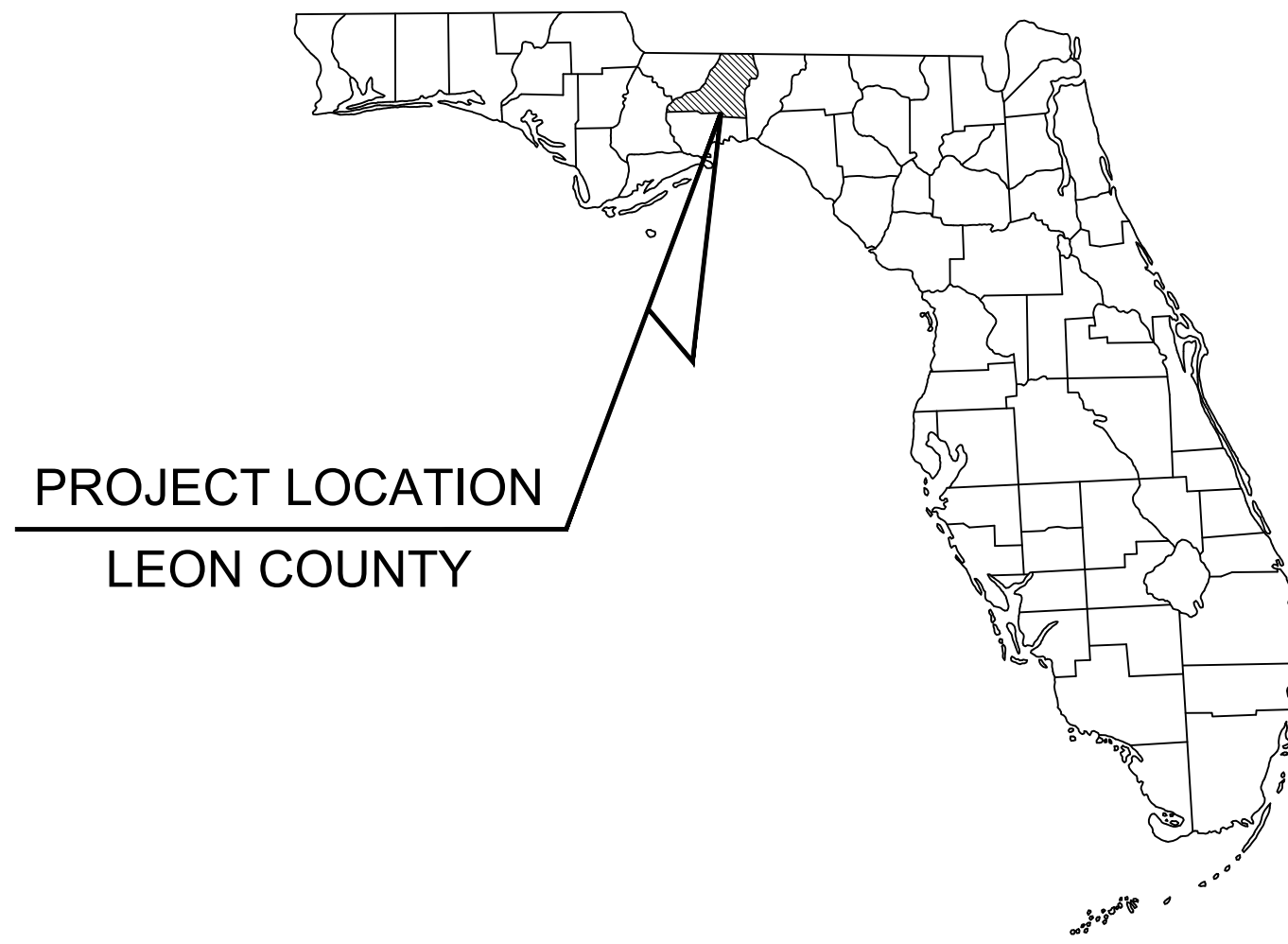
**CONTRACTOR NOTICE 2020 (effective December 31, 2020)**

The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.) and the 2020 Florida Building Code, Accessibility, 2nd Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. and FBC-A. The following items take precedence and supersede other site details on drawings:

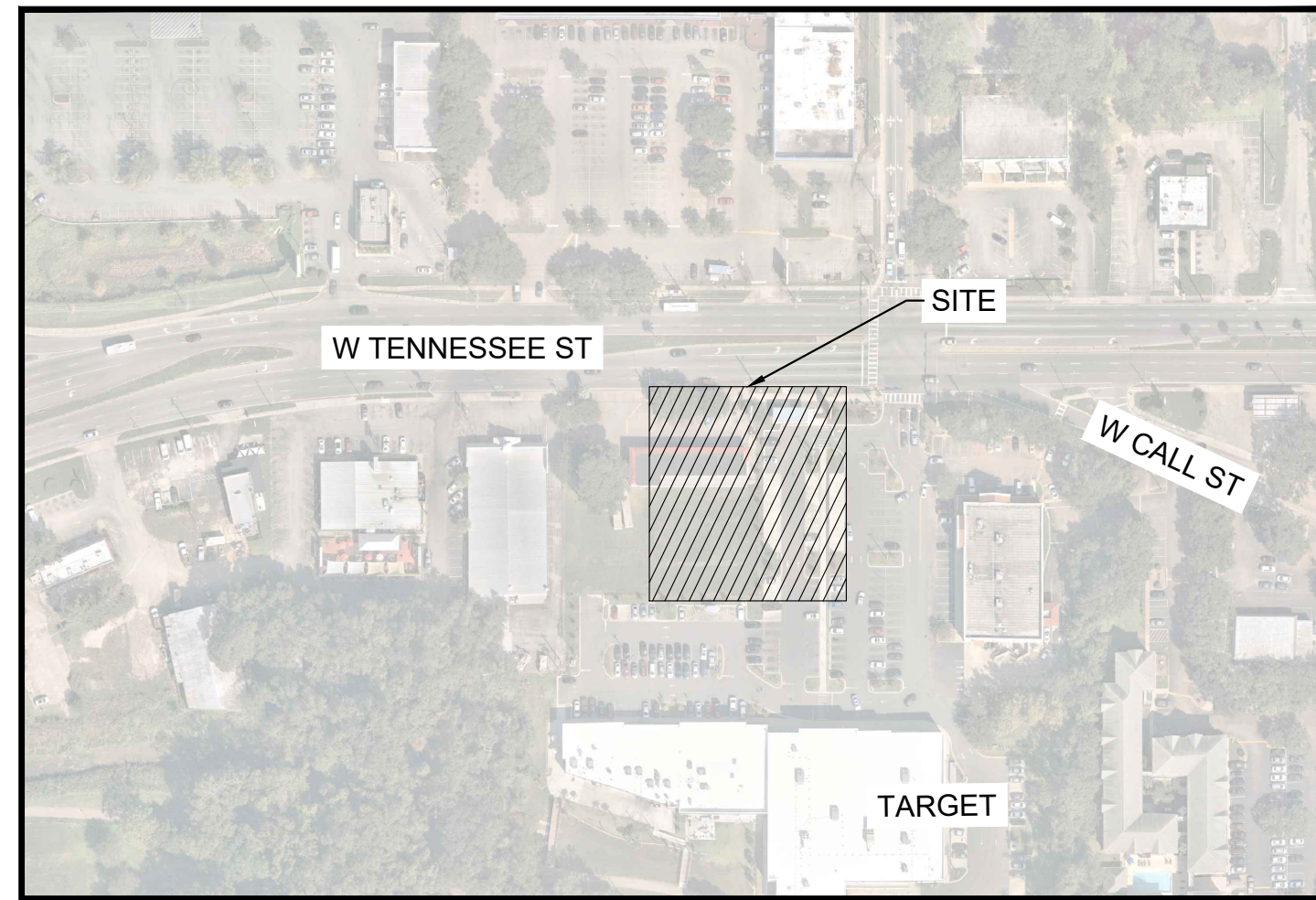
1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. §208.1 and §502.3, FBC-A and F.S. 553.5041.
  2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §208.3.1 FBC-A and F.S. 553.5041(5)(b).
  3. ACCESSIBLE PARKING spaces shall be 12' wide, and outlined with blue paint. §502.2 and §502.6, FBC-A.
  4. ACCESSIBLE AISLES required adjacent to parking spaces shall be 5' wide with diagonal striping. §502.2, FBC-A.
  5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1/48") on a stable, firm & slip resistant surface. Re: §303.1, §502.3, FBC-A.
  6. ACCESSIBLE PARKING signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60" (inches) from the ground to the bottom of the sign(s). Re: §502.6 and F.S. 553.5041.
  7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2, §406, FBC-A.
  8. CURB RAMPS shall have a landing with a minimum clear length of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406, FBC-A.
  9. ALL RAMPS with a rise greater than 6" shall provide edge protection complying with §405.9 FACBC. Ramps shall have 60" min level landings at the top & bottom. Re: §405.7, FBC-A.
  10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Re: §1010.9 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
  11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope (unless ramps, handrails with proper extensions are provided) with cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
  12. \*Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.
- \* EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A.

**GOVERNMENT/UTILITY CONTACTS**

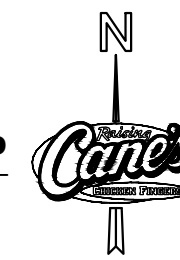
FIRE AUTHORITY	CITY OF TALLAHASSEE 435 N MACOMB STREET TALLAHASSEE, FLORIDA 32301 (850) 891-7179
CONTACT: GARY DONALDSON	
UTILITIES DEPARTMENT	CITY OF TALLAHASSEE 408 N ADAMS STREET TALLAHASSEE, FLORIDA 32301 (850) 8916167
CONTACT: JOSHUA LOGAN, P.E.	
STORMWATER DEPARTMENT	NORTH FLORIDA WATER MANAGEMENT DISTRICT 81 WATER MANAGEMENT DRIVE HAVANNA, FLORIDA 32333 (850) 539-5999
CONTACT: MATTHEW HENNESSY, P.E. (CITY OF TALLAHASSEE)	
PLANNING AND ZONING AUTHORITY	CITY OF TALLAHASSEE 435 N MACOMB STREET TALLAHASSEE, FLORIDA 32301 (850) 891-7166
CONTACT: LANCE JACOBSON	
BUILDING DEPARTMENT	CITY OF TALLAHASSEE 435 N MACOMB STREET TALLAHASSEE, FLORIDA 32301 (850) 891-7071
CONTACT: ROBERT TREDIK	
ELECTRIC COMPANY	CITY OF TALLAHASSEE UTILITIES 435 N MACOMB STREET TALLAHASSEE, FLORIDA 32301 (850) 891-5016
CONTACT: TINA DROSE	
GAS COMPANY	CITY OF TALLAHASSEE GAS UTILITY 2602 JACKSON BLUFF ROAD TALLAHASSEE, FLORIDA 32304 (850) 891-5108
CONTACT: PAUL CHANG	
COMMUNICATION COMPANY	COMCAST BUSINESS SERVICES (754) 221-4844
CONTACT: RAUL VELAZQUEZ	



PROJECT LOCATION  
LEON COUNTY



SITE LOCATION MAP  
(NOT TO SCALE)



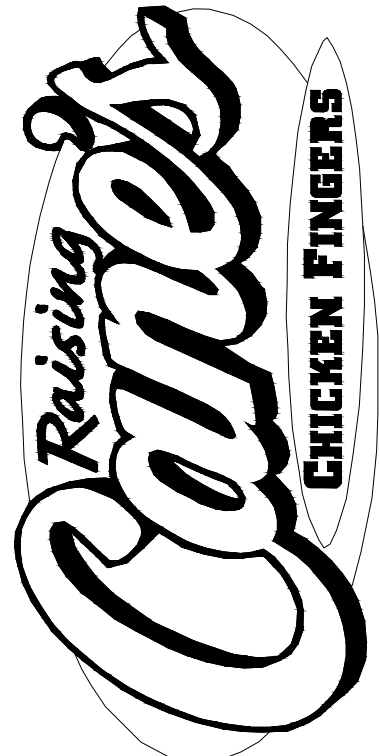
NOTES:

1. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 22" X 34" SHEET.

INDEX OF SHEETS			
SHEET NO.	DESCRIPTION	DATE	REVISION
C1.0	COVER SHEET	02-03-2022	
1 OF 2	BOUNDARY & TOPO SURVEY ALTA NSPS LAND TITLE SURVEY	10-28-2021	
2 OF 2	BOUNDARY & TOPO SURVEY ALTA NSPS LAND TITLE SURVEY	10-28-2021	
C2.0	GENERAL NOTES	02-03-2022	
C3.0	EROSION CONTROL PLAN	NOT SUBMITTED	
C3.1	EROSION CONTROL DETAILS	NOT SUBMITTED	
C4.0	DEMOLITION PLAN	02-03-2022	
C5.0	SITE KEYNOTE PLAN	02-03-2022	
C5.1	DIMENSION CONTROL PLAN	02-03-2022	
C5.2	STRIPING AND SIGNAGE PLAN	02-03-2022	
C5.3	PAVING AND JOINT LAYOUT PLAN	NOT SUBMITTED	
C5.4	CIRCULATION PLAN	02-03-2022	
C5.5	VEHICLE STACKING AND CIRCULATION PLAN	02-03-2022	
C6.0	GRADING PLAN	02-03-2022	
C6.1	DRAINAGE PLAN	02-03-2022	
C6.2	DRAINAGE DETAILS	NOT SUBMITTED	
C6.3	DRAINAGE DETAILS	NOT SUBMITTED	
C7.0	UTILITY PLAN	02-03-2022	
C8.0	CONSTRUCTION DETAILS	02-03-2022	
LP1.0	CONCEPTUAL LANDSCAPE PLAN	02-03-2022	
LP1.1	LANDSCAPE DETAILS	NOT SUBMITTED	

**PLANS SUBMITTAL/REVIEW LOG**

NO.	DESCRIPTION	DATE	MILESTONE
1	80% ENTITLEMENT SET	10/06/2021	NOT FOR CONSTRUCTION
2	SITE PLAN REVIEW	10/28/2021	FOR REVIEW
3	2nd SITE PLAN REVIEW	02/03/2022	FOR REVIEW



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

Restaurant:

Raising Cane's  
Restaurant #0734  
1917 West Tennessee St.  
Tallahassee, FL  
P4E-AV [B] M

Designer's Information:

**CSRS**  
6767 Perkins Road, Suite 200  
Baton Rouge, Louisiana 70808  
Telephone: 225 769-0546  
www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV

Project Issue Date: 02-03-2022

CSRS Project Manager: JH

FOR REVIEW

**Kimley»Horn**

2619 CENTENNIAL BLVD, STE 200, TALLAHASSEE, FL 32308  
PHONE: 850-553-3500  
WWW.KIMLEY-HORN.COM REGISTRY No. 696



Sheet Versions:

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Sheet Title:

COVER SHEET

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C1.0

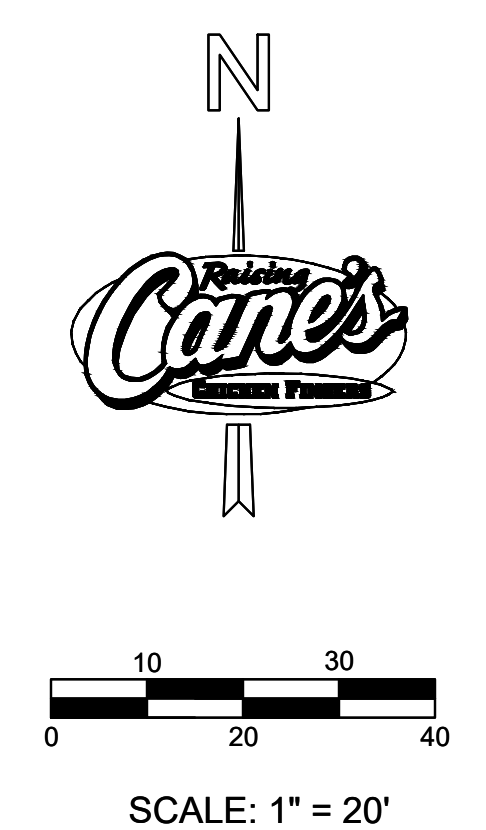
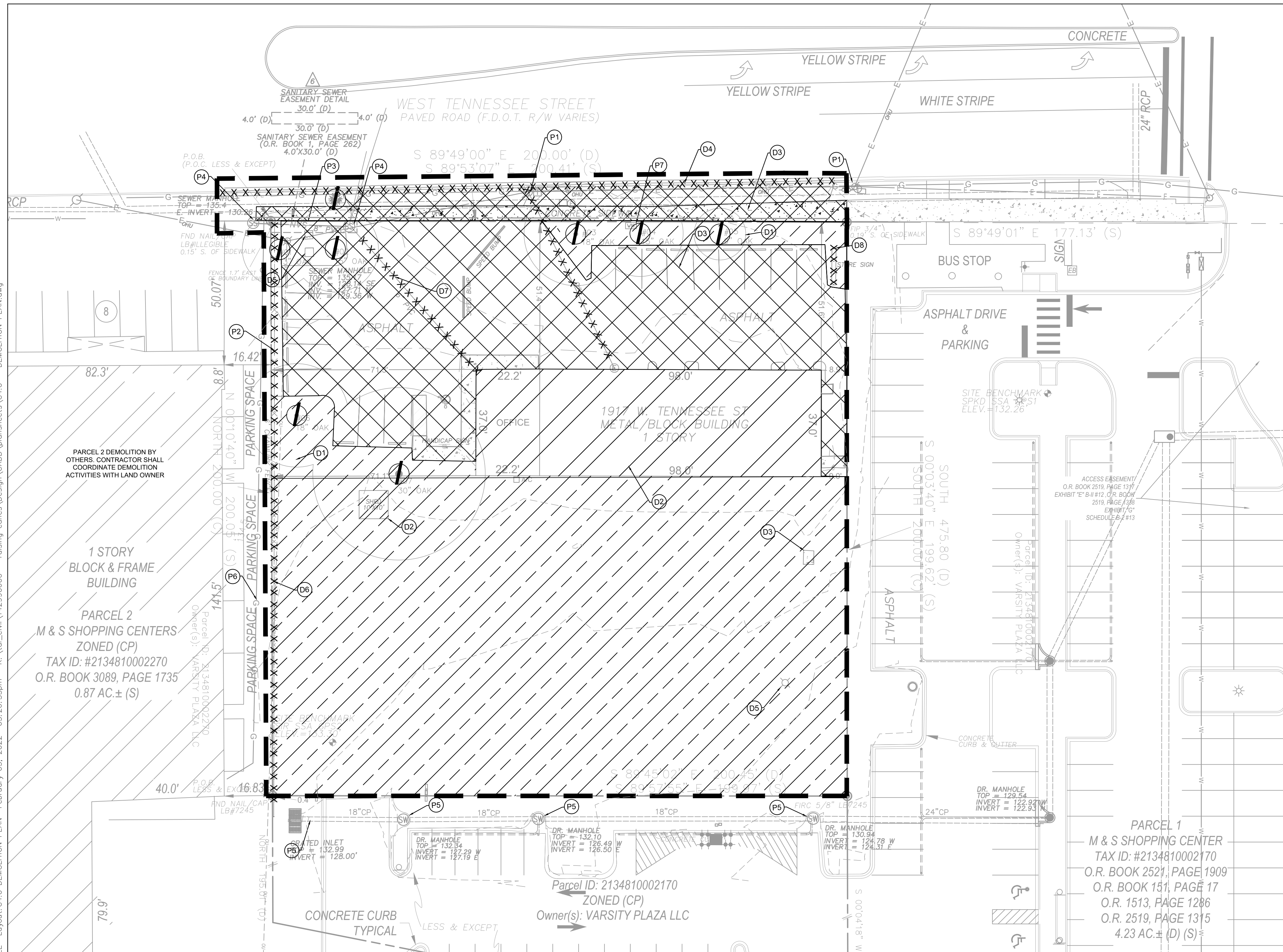
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**FEBRUARY 2022**



Plotted By: Clark, Dillon Sheet: Set: RAISING CANES - TALLAHASSEE Layout: C4.0 DEMOLITION PLAN February 03, 2022 03:26:35pm K:\Vol\_civil\142990600 - raising\_canes\Design\CADD\plan\sheet\C4.0 - DEMOLITION PLAN.dwg



**LEGEND**

- PROPERTY LINE
- PROPOSED LIMITS OF DISTURBANCE
- ITEMS TO BE REMOVED
- EXISTING TREE TO BE REMOVED (TYP X)
- BUILDING DEMOLITION (4,566 SF) (BY LANDLORD)
- ASPHALT PARKING AND CONCRETE SLAB/SIDEWALK DEMOLITION (13,245 SF) (BY LANDLORD)
- GREEN SPACE TO BE CLEARED AND GRUBBED (24,305 SF)

Tree ID:	Tree Type:	Condition:	Tree Size (In):	Category:	Debits:
1	Live Oak	Demo	13	C	12
2	Live Oak	Demo	15	C	12
3	Live Oak	Demo	18	C	12
4	Live Oak	Demo	15	C	12
5	Live Oak	Demo	9	C	10
6	Live Oak	Demo	18	C	12
7	Live Oak	Demo	30	C	30
Total					100

- D. DEMOLITION**
- EXISTING TREE TO BE REMOVED
  - EXISTING BUILDING DEMOLITION
  - EXISTING ASPHALT PARKING AND SLAB/SIDEWALK DEMOLITION
  - EXISTING CURB AND GUTTER DEMOLITION
  - EXISTING UTILITY STRUCTURE DEMOLITION
  - EXISTING FENCE REMOVAL (COORDINATE WITH LAND OWNER REGARDING PARCEL 2 CONSTRUCTION PHASE)
  - SANITARY SEWER SERVICE DEMOLITION
  - EXISTING SIGN TO BE REMOVED

- P. PROTECTION**
- UTILITY POLE AND PEDESTAL TO REMAIN
  - EXISTING FENCE TO REMAIN (COORDINATE WITH LAND OWNER REGARDING PARCEL 2 CONSTRUCTION PHASE)
  - EXISTING UTILITY EASEMENT TO REMAIN
  - EXISTING SANITARY SEWER MANHOLE TO REMAIN
  - EXISTING STORMWATER DRAINAGE INFRASTRUCTURE TO REMAIN
  - EXISTING GAS UTILITY TO REMAIN
  - PROTECT EXISTING 1" WATER METER AND SERVICE. CONTRACTOR MAY UTILIZE DURING CONSTRUCTION ACTIVITIES

**DEMOLITION NOTES**

- CONTRACTOR IS SOLELY RESPONSIBLE FOR DISPOSING OF ALL MATERIALS REMOVED DURING CONSTRUCTION PER LOCAL ORDINANCES.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DEMOLITION PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS WHICH INVOLVES COMPLETION OF A HAZARDOUS WASTE INSPECTION, AND MITIGATION OF ANY ISSUES PRIOR TO SITE WORK.
- CONTRACTOR SHALL REFERENCE BYPASS AND SEQUENCING PLAN PRIOR TO INITIATING SITE DEMOLITION.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE INDICATED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
- THE CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THIS DEMOLITION PLAN UNLESS DIRECTED OTHERWISE BY THE ENGINEER, OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- THE CONTRACTOR SHALL USE CARE IN HANDLING DEBRIS FROM THE SITE TO ENSURE THE SAFETY OF THE PUBLIC. THE HAUL ROUTE IS TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADS, SIDEWALKS ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION. FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADIES. ANY ADJUSTMENTS REQUIRED TO BE MADE TO EXISTING UTILITIES DUE TO GRADE MAY RESULT IN ADDITIONAL COSTS AND CONTRACTOR MAY BE ENTITLED TO CHANGE ORDER TO COVER THESE COSTS.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND NOT INTERRUPTING UTILITY SERVICES TO ADJACENT PROPERTIES.
- EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A FLORIDA REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR TO MAINTAIN ACCESS TO ALL OCCUPIED BUSINESS AT ALL TIMES DURING CONSTRUCTION.



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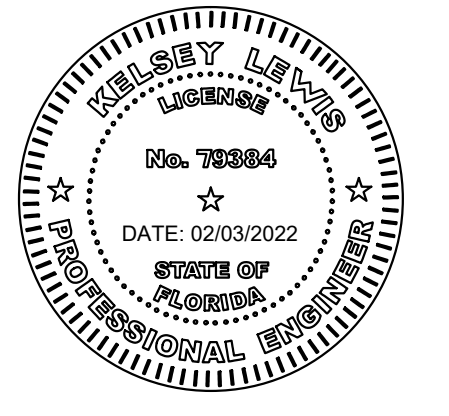
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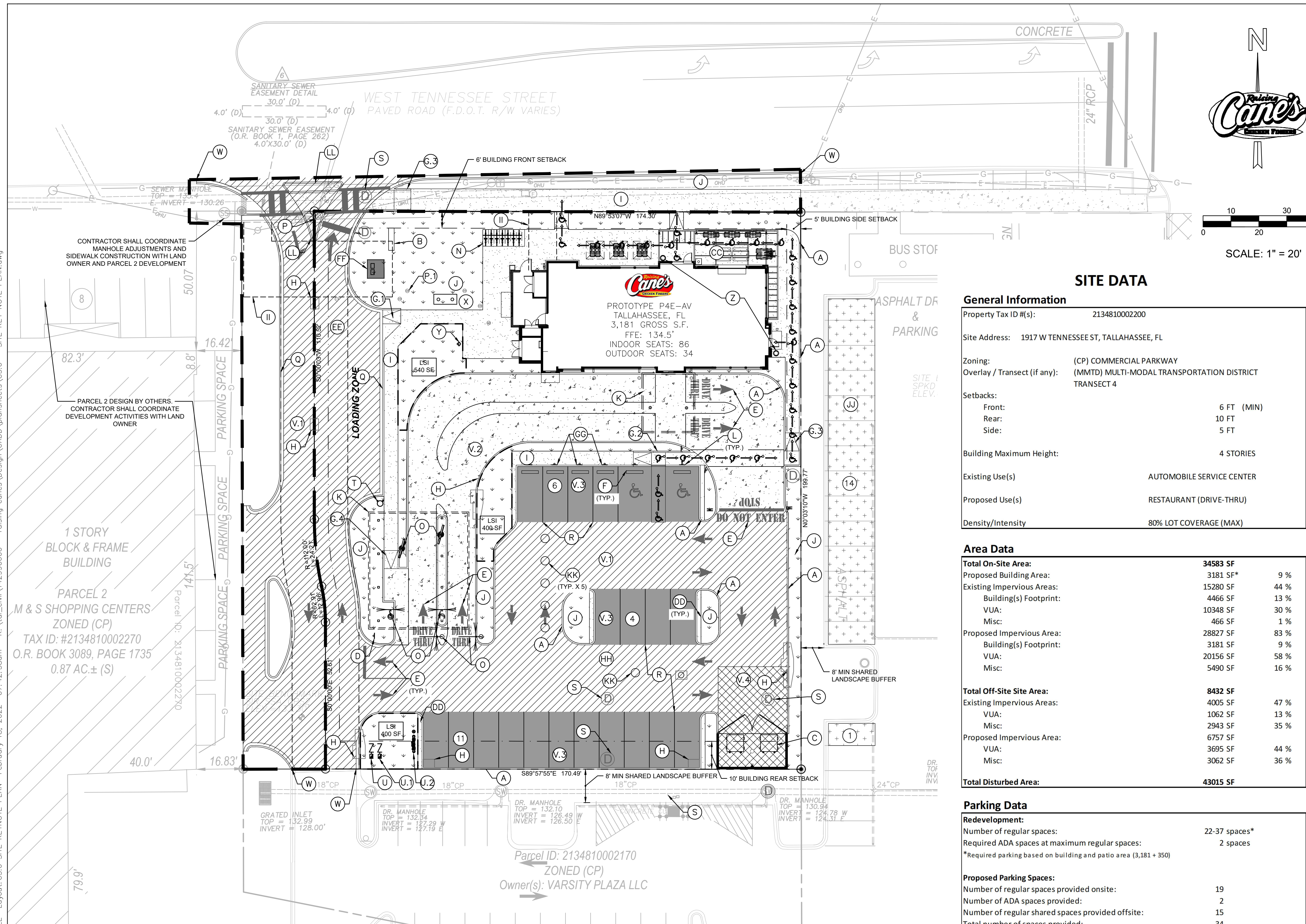
**DEMOLITION PLAN**

Sheet Number:

**C4.0**

PROJECT DATUM NAVD 88  
 CALL 2 WORKING DAYS BEFORE YOU DIG  
**811**  
 IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Clark, Dillon    Sheet: Set: RAISING CANES - TALLAHASSEE    Layout: C5.0 SITE KEYNOTE PLAN    February 18, 2022    07:42:38am    K:\Vol\_Civil\142990000 - raising\_canesh\Design\CADD\plan\streets\C5.0 - SITE KEY NOTE PLAN.dwg



KEYNOTE LEGEND	
(A)	TYPE 'D' CURB. SHEET C8.0 - CONSTRUCTION DETAILS
(B)	PROPOSED RAISING CANES SIGN. REFER TO SIGNAGE PLAN FOR DETAILS
(C)	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY
(D)	SITE DIRECTIONAL SIGN. REFER TO SHEET C5.2 - STRIPING AND SIGNAGE PLAN
(E)	DIRECTIONAL PAVEMENT MARKING. REFER TO SHEET C5.2 - STRIPING AND SIGNAGE PLAN
(F)	WHEEL STOPS. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS
(G.1)	FDOT MODIFIED TYPE 'CR-A' CURB RAMP. PER STD. INDEX 522-002.
(G.2)	FDOT TYPE 'CR-C' CURB RAMP. PER STD. INDEX 522-002.
(G.3)	FDOT TYPE 'CR-F' CURB RAMP. PER STD. INDEX 522-002.
(G.4)	FDOT TYPE 'CR-E' CURB RAMP. PER STD. INDEX 522-002.
(H)	PROPOSED STORM INLET.
(I)	CONCRETE SIDEWALK. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS
(J)	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
(K)	PROPOSED DRIVE-THRU CANOPY. REFER TO ARCHITECTURAL PLANS FOR CANOPY DETAILS.
(L)	ACCESSIBLE PARKING SIGN REFER TO SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(M)	FUTURE DEVELOPMENT BY OTHERS
(N)	BICYCLE RACK WITH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
(O)	DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(P)	EXISTING SANITARY SEWER MANHOLE
(Q)	PROPOSED SANITARY SEWER CLEANOUT
(R)	MODIFIED TYPE 'F' CURB AND GUTTER. REFER TO SHEET C8.0 FOR CONSTRUCTION DETAILS
(S)	PAVEMENT STRIPING. REFER TO SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(T)	PROPOSED STORM SEWER MANHOLE
(U)	PROPOSED FIRE HYDRANT PER CITY OF TALLAHASSEE REQUIREMENTS.
(V)	PROPOSED WATER METER. REFER TO SHEET C7.0 - UTILITY PLAN.
(V.1)	PROPOSED IRRIGATION BACKFLOW PREVENTER. REFER TO SHEET C7.0 - UTILITY PLAN.
(V.2)	PROPOSED FIRE SERVICE BACKFLOW PREVENTER. REFER TO SHEET C7.0 - UTILITY PLAN.
(V.3)	HEAVY DUTY ASPHALT PAVT. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS.
(V.4)	LIGHT DUTY CONCRETE. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS.
(V.5)	STANDARD DUTY ASPHALT PAVEMENT. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS.
(W)	6" HEAVY DUTY CONCRETE PAVT. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS.
(X)	TIE PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTINUOUS TRANSITION.
(Y)	GREASE TRAP. REFER TO ARCHITECTURAL/MEP PLANS FOR DETAILS.
(Z)	REMOTE FDC. REFER TO SHEET C7.0 - UTILITY PLAN
(AA)	TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
(BB)	BUSINESS NAME TILES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(CC)	CREW AMENITY STATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(DD)	PROPOSED PATIO AND CANOPY. REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT AND CANOPY DETAILS.
(EE)	INSTALL 6" THICK CONCRETE BEHIND CURB. REFER TO SHEET C8.0 - CONSTRUCTION DETAILS.
(FF)	PROPOSED SHARED DRIVE AND CROSS ACCESS EASEMENT
(GG)	CITY OF TALLAHASSEE ELECTRIC TRANSFORMER PAD
(HH)	MOBILE ORDER PARKING SIGN. REFER TO SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
(II)	CONTECH UNDERGROUND STORMWATER VAULT EXTENTS
(JJ)	PROPOSED CITY OF TALLAHASSEE UTILITY EASEMENT
(KK)	REQUIRED SHARED PARKING
(LL)	UNDERGROUND STORM SYSTEM ACCESS COVER
(MM)	FDOT TYPE 1 (OPT 2) TRAFFIC SEPARATOR PER STD. INDEX 520-020

LEGEND	
---	PROPOSED PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT
---	OFFSITE IMPROVEMENTS
---	BUILDING SETBACK
---	PROPOSED CONCRETE CURB
---	EXISTING CURB
(3)	PROPOSED PARKING COUNT
---	HEAVY DUTY ASPHALT PAVEMENT (ACCESS DRIVE) REFERENCE PAVEMENT DETAILS.
---	LIGHT DUTY CONCRETE. REFERENCE PAVEMENT DETAILS.
---	PROPOSED PATIO. REFER TO ARCHITECTURAL PLANS FOR SEATING AND SPACING LAYOUT
(V.3)	STANDARD DUTY ASPHALT PAVEMENT REFERENCE PAVEMENT DETAILS.
(V.4)	6" HEAVY DUTY CONCRETE PAVEMENT REFERENCE PAVEMENT DETAILS.
---	PROPOSED PRIVATE SIDEWALK/PATIO PAVEMENT. REFER TO CONSTRUCTION DETAILS.
---	PROPOSED SHARED PARKING (15 SPACES)
---	PROPOSED LANDSCAPE AREA.
---	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
---	REQUIRED LANDSCAPE ISLAND LIMITS PER CITY OF TALLAHASSEE

**LEGAL DESCRIPTION**  
TO BE DETERMINED.

**SITE DATA**

**General Information**

Property Tax ID #: 2134810002200

Site Address: 1917 W TENNESSEE ST, TALLAHASSEE, FL

Zoning: (CP) COMMERCIAL PARKWAY  
Overlay / Tract (if any): (MMTD) MULTI-MODAL TRANSPORTATION DISTRICT TRANSECT 4

Setbacks:  
Front: 6 FT (MIN)  
Rear: 10 FT  
Side: 5 FT

Building Maximum Height: 4 STORIES

Existing Use(s): AUTOMOBILE SERVICE CENTER

Proposed Use(s): RESTAURANT (DRIVE-THRU)

Density/Intensity: 80% LOT COVERAGE (MAX)

**Area Data**

Category	Area (SF)	Percentage
<b>Total On-Site Area:</b>	<b>34583 SF</b>	
Proposed Building Area:	3181 SF*	9 %
Existing Impervious Areas:	15280 SF	44 %
Building(s) Footprint:	4466 SF	13 %
VUA:	10348 SF	30 %
Misc:	466 SF	1 %
Proposed Impervious Area:	28827 SF	83 %
Building(s) Footprint:	3181 SF	9 %
VUA:	20156 SF	58 %
Misc:	5490 SF	16 %
<b>Total Off-Site Area:</b>	<b>8432 SF</b>	
Existing Impervious Areas:	4005 SF	47 %
VUA:	1062 SF	13 %
Misc:	2943 SF	35 %
Proposed Impervious Area:	6757 SF	
VUA:	3695 SF	44 %
Misc:	3062 SF	36 %
<b>Total Disturbed Area:</b>	<b>43015 SF</b>	

**Parking Data**

**Redevelopment:**

Number of regular spaces: 22-37 spaces\*

Required ADA spaces at maximum regular spaces: 2 spaces

\*Required parking based on building and patio area (3,181 + 350)

**Proposed Parking Spaces:**

Number of regular spaces provided onsite: 19

Number of ADA spaces provided: 2

Number of regular shared spaces provided offsite: 15

Total number of spaces provided: 34

**Bicycle Parking Required:**

Required number of bicycle parking spaces: 7

Proposed Bicycle Parking: 7\*

\*4 spaces to be covered and secured per City of Tallahassee Specifications

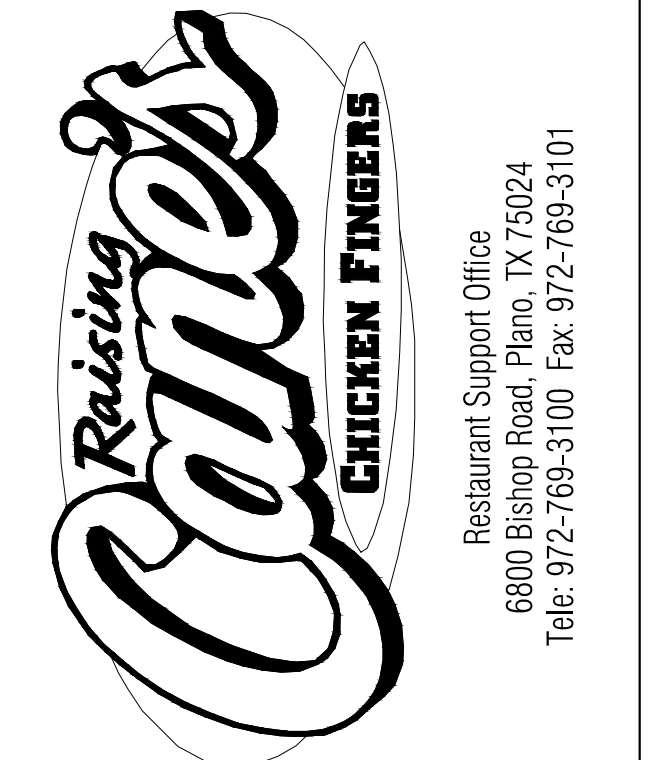
**Landscape / Urban Forest Data**

Category	Area (SF)	Percentage
<b>Redevelopment statistics:</b>		
Redevelopment or New development?		
Type I area:	34583 SF*	100 %
Req'd Landscape Islands:	3	
Provided Landscape Islands:	3	
Required Landscape Area(SF):	6917 SF	20 %
*10% with fee in lieu	3458 SF	10 %
Landscape area provided (SF):	5808 SF	17 %
<b>Total green space area provided:</b>	<b>5808 SF</b>	<b>17 %</b>

\*Adjusted Parcel Area

**NOTE**

1. DUMPSTER ENCLOSURE SHALL HAVE A 12 FT CLEAR OPENING. GATE POLES SHALL NOT BE LOCATED WITHIN REQUIRED DIMENSIONS OF PAD.



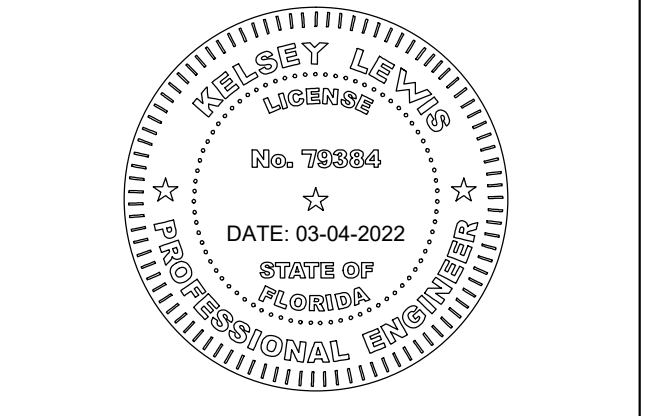
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Prototype Phase: 2021-1.0 P4E-AV  
Project Issue Date: 03-04-2022  
CSRS Project Manager: JH

FOR REVIEW  
**Kimley»Horn**

2619 CENTENNIAL BLVD, STE 200, TALLAHASSEE, FL 32308  
PHONE: 850-553-3500  
WWW.KIMLEY-HORN.COM    REGISTRY No. 696



Sheet Versions:

#	Date	Description

**SITE KEYNOTE PLAN**

Sheet Number:  
**C5.0**

PROJECT DATUM NAVD 88

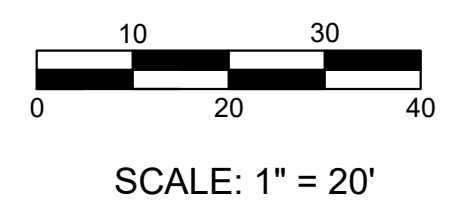
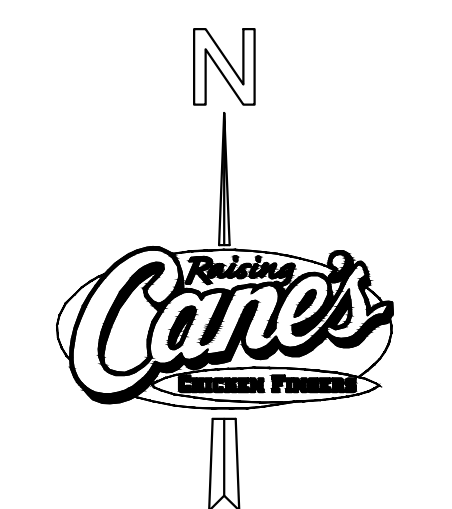
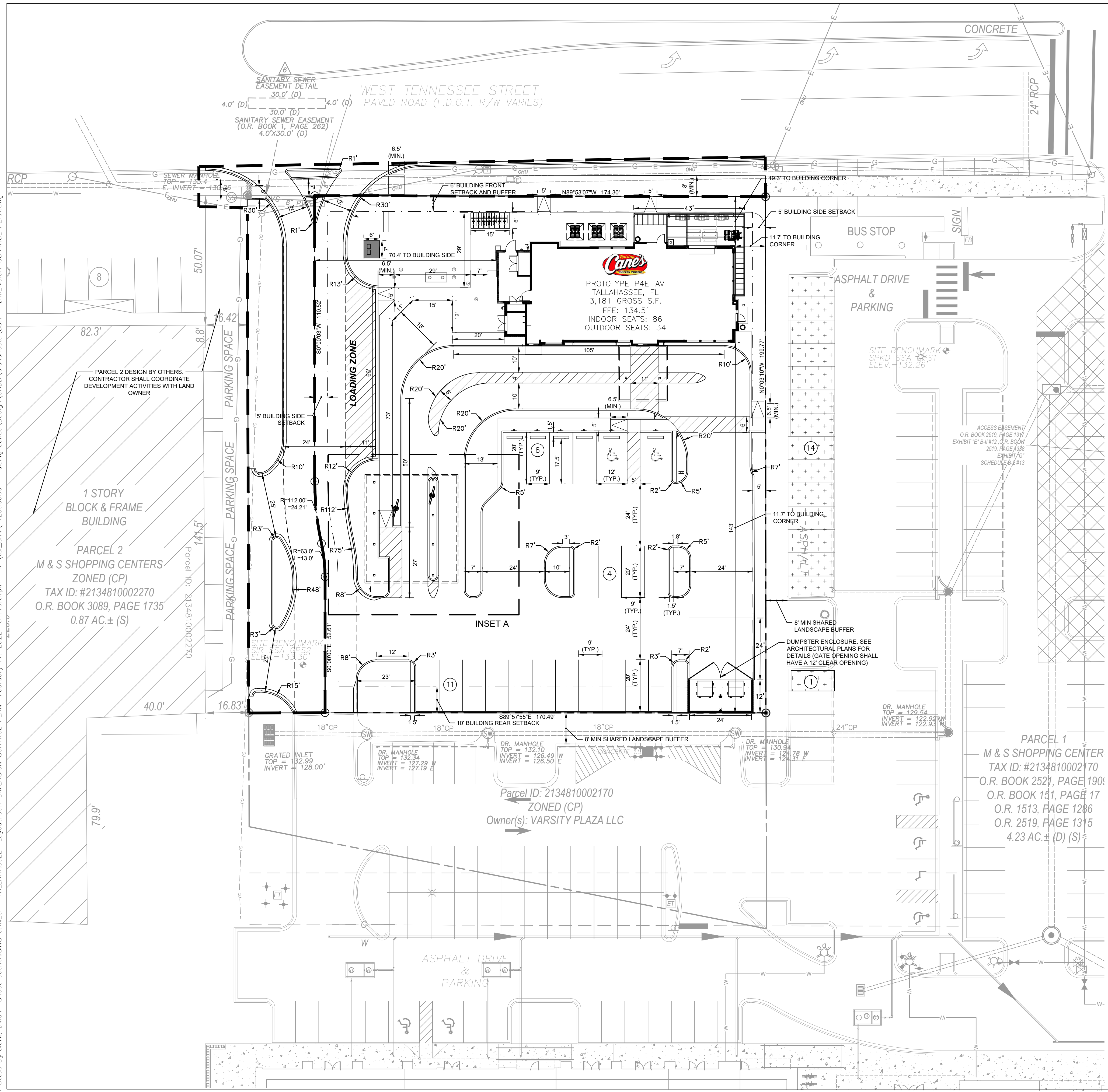
CALL 2 WORKING DAYS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

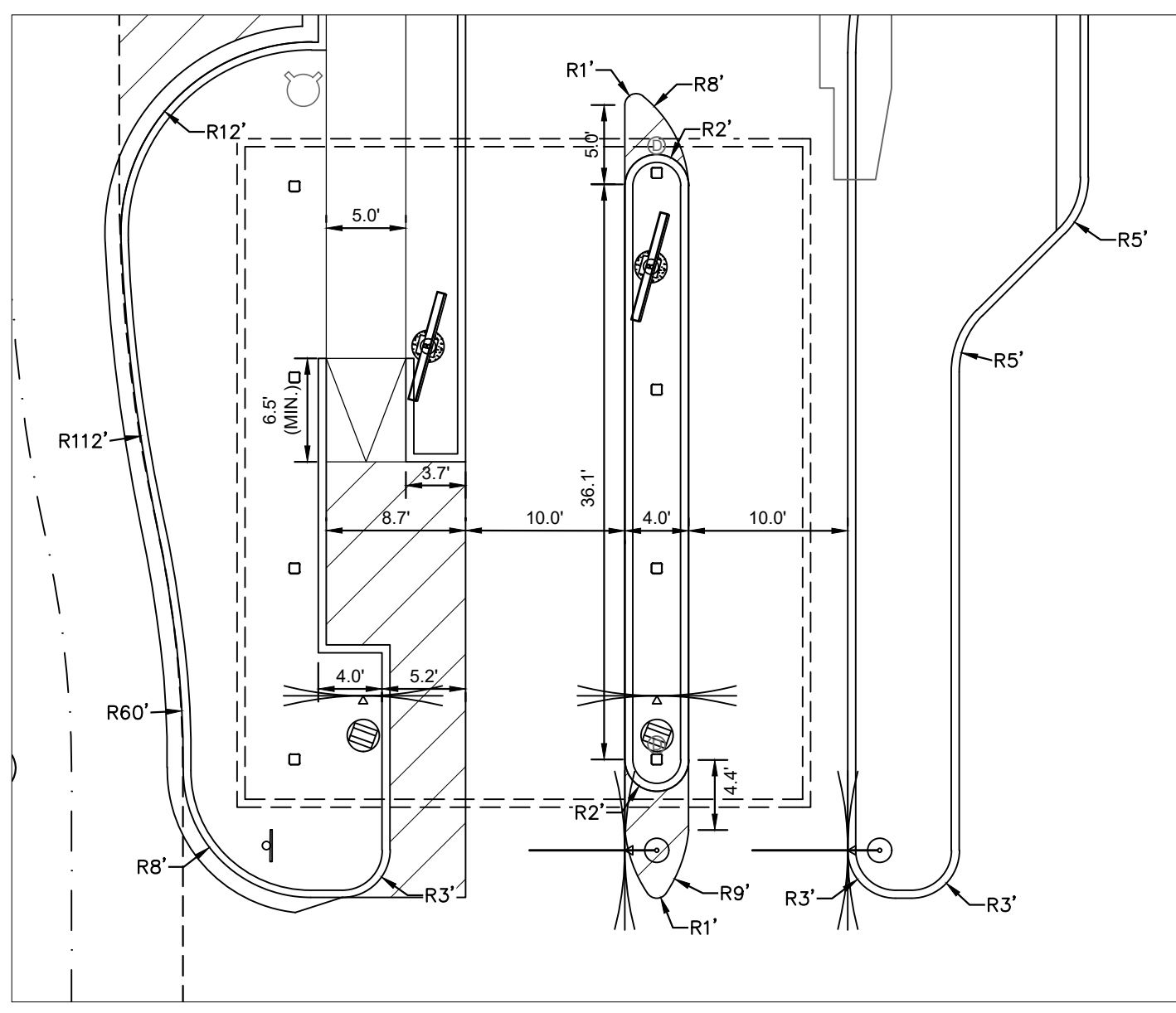
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Clark, Dillon Sheet: Set: RAISING CANES - TALLAHASSEE Layout: C5.1 DIMENSION CONTROL PLAN February 17, 2022 04:19:01pm K:\Val\_Civil\142906000 - raising\_canes\_Design\CADD\plansheets\C5.1 - DIMENSION CONTROL PLAN.dwg



- LEGEND**
- PROPERTY LINE
  - OFFSITE IMPROVEMENTS
  - ADJACENT PROPERTY LINE
  - PROPOSED CONCRETE CURB
  - EXISTING CURB
  - (36) PROPOSED PARKING COUNT
  - PROPOSED SHARED PARKING (15 SPACES)

- DIMENSION NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
  3. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
  4. CITY OF TALLAHASSEE TRANSFORMER PAD SHALL BE LOCATED 12' MAX. FROM EDGE OF PAVEMENT TO CENTER OF PAD.



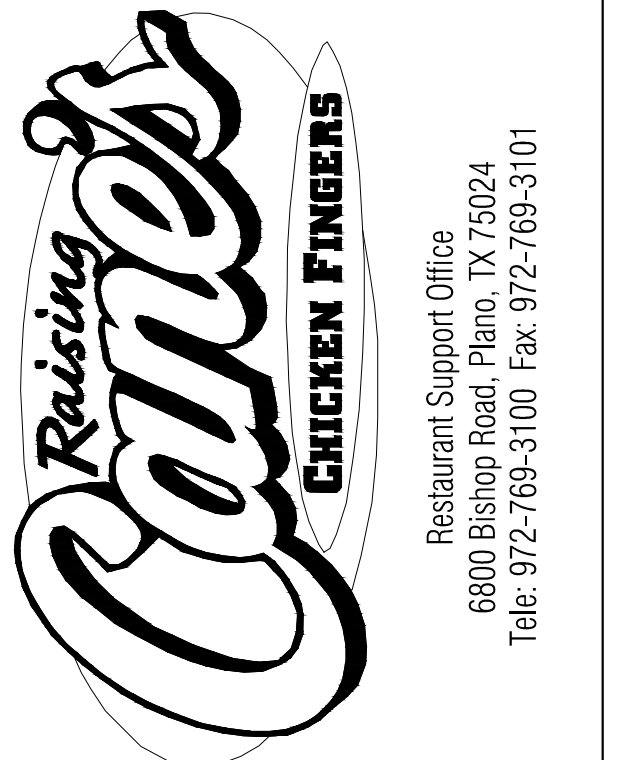
**INSET A**  
SCALE: 1"=10'  
REFERENCE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATION OF MENU BOARD, HEIGHT DETECTOR AND PRE-ORDER BOARD.

PROJECT DATUM NAVD 88

CALL 2 WORKING DAYS BEFORE YOU DIG **811**

IT'S THE LAW! DIAL 811 **Know what's below. Call before you dig.**

SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tele: 972-769-3100 Fax: 972-769-3101

Restaurant:  
**Raising Cane's**  
 Restaurant #0734  
 1917 West Tennessee St.  
 Tallahassee, FL  
 P4E-AV [B] M

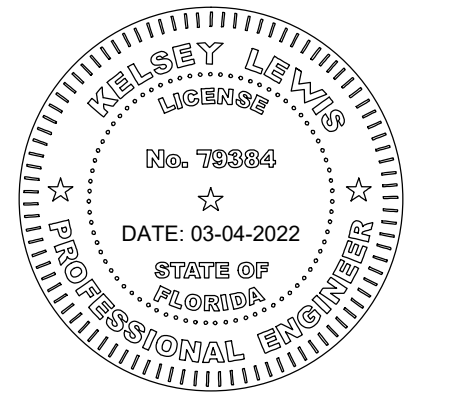
Designer's Information:  
**CSRS**  
 6767 Perkins Road, Suite 200  
 Baton Rouge, Louisiana 70808  
 Telephone: 225 769-0546  
 www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV  
 Project Issue Date: 03-04-2022  
 CSRS Project Manager: JH

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Sheet Versions:

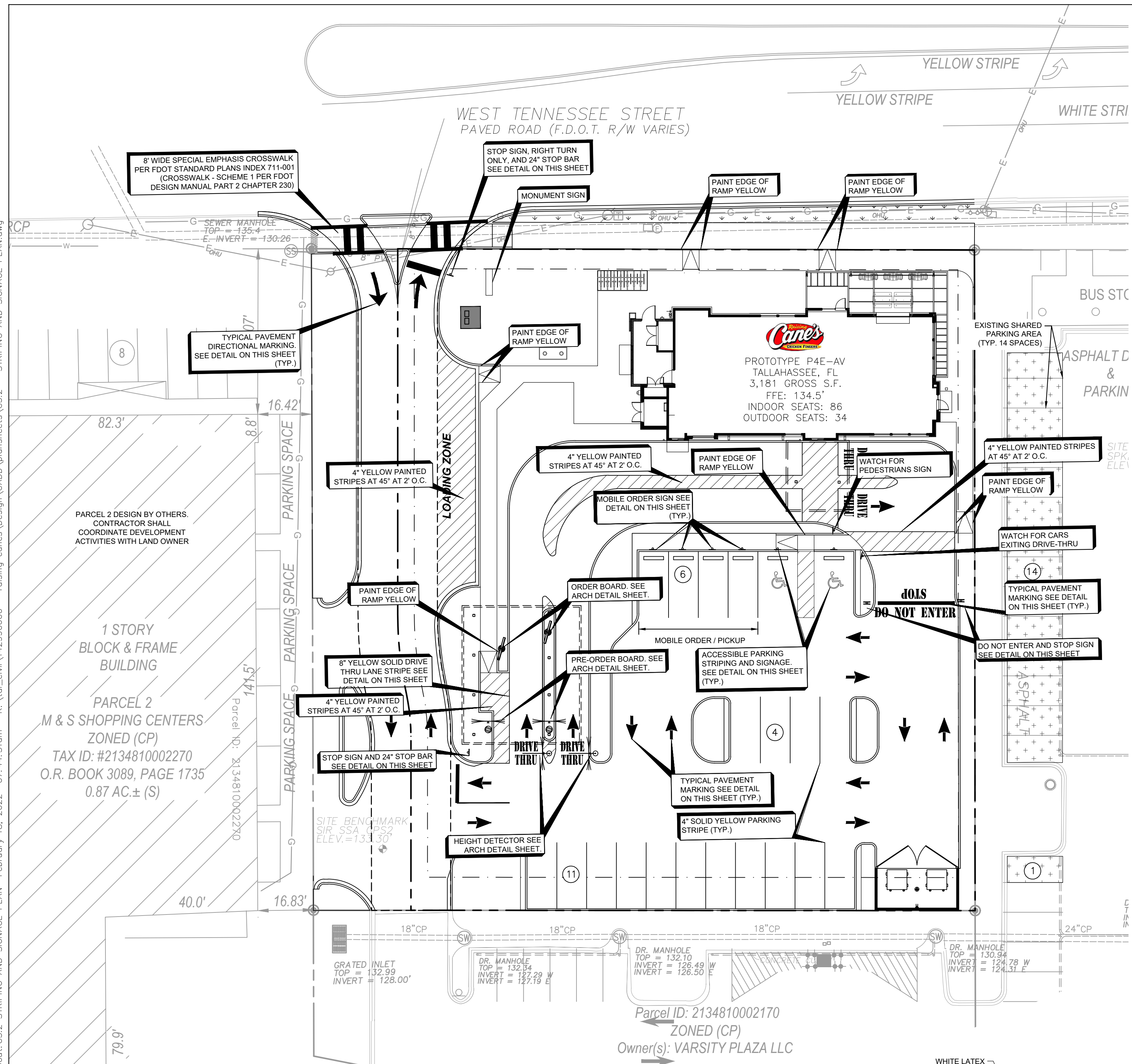
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DIMENSION CONTROL PLAN

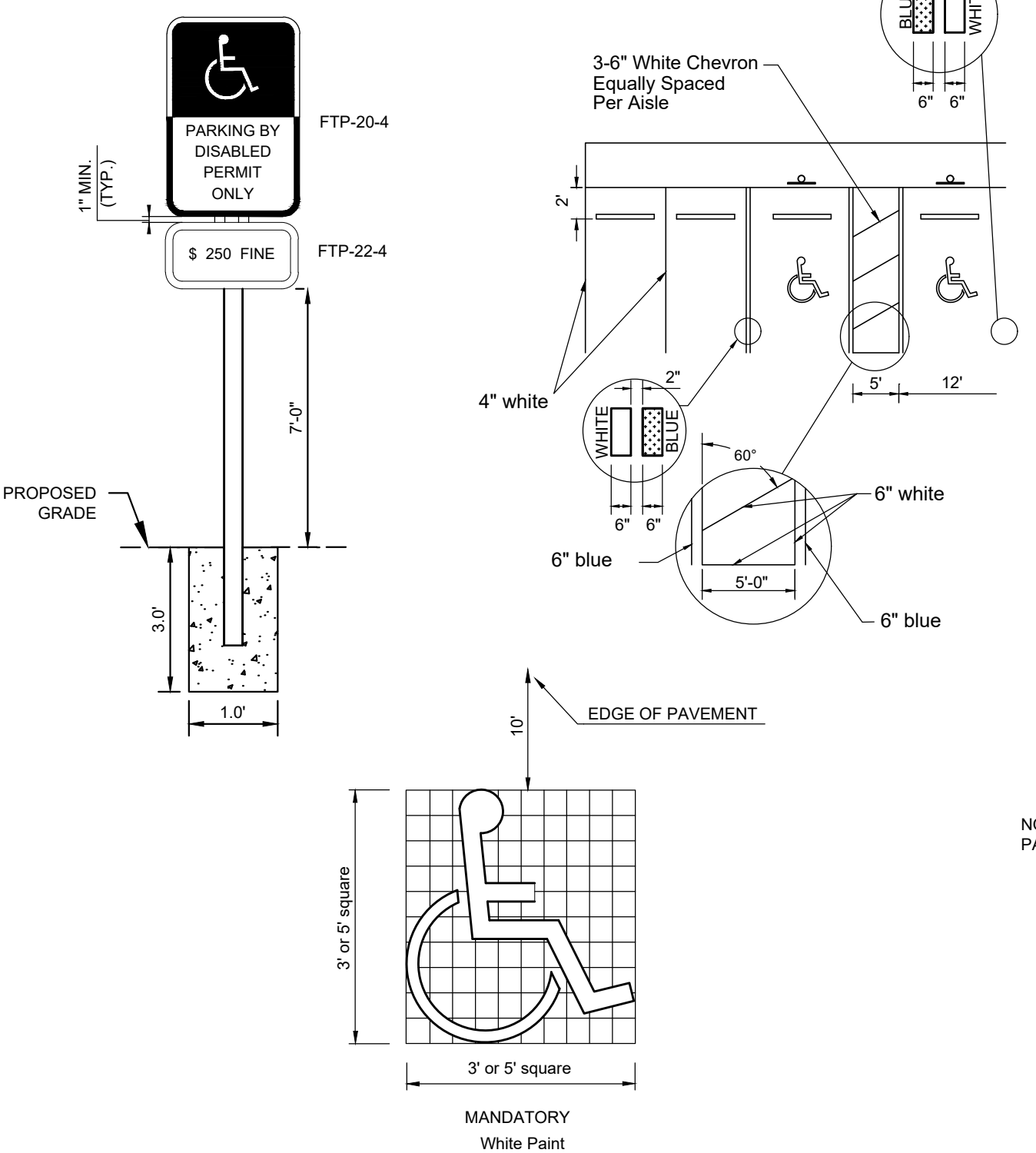
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**C5.1**

Plotted By: Clark, Dillon Sheet: STRIPING AND SIGNAGE PLAN February 18, 2022 07:44:31am K:\vol\civil\12990600 - raising canes\Design\CADD\plansheets\C5.2 - STRIPING AND SIGNAGE PLAN.dwg

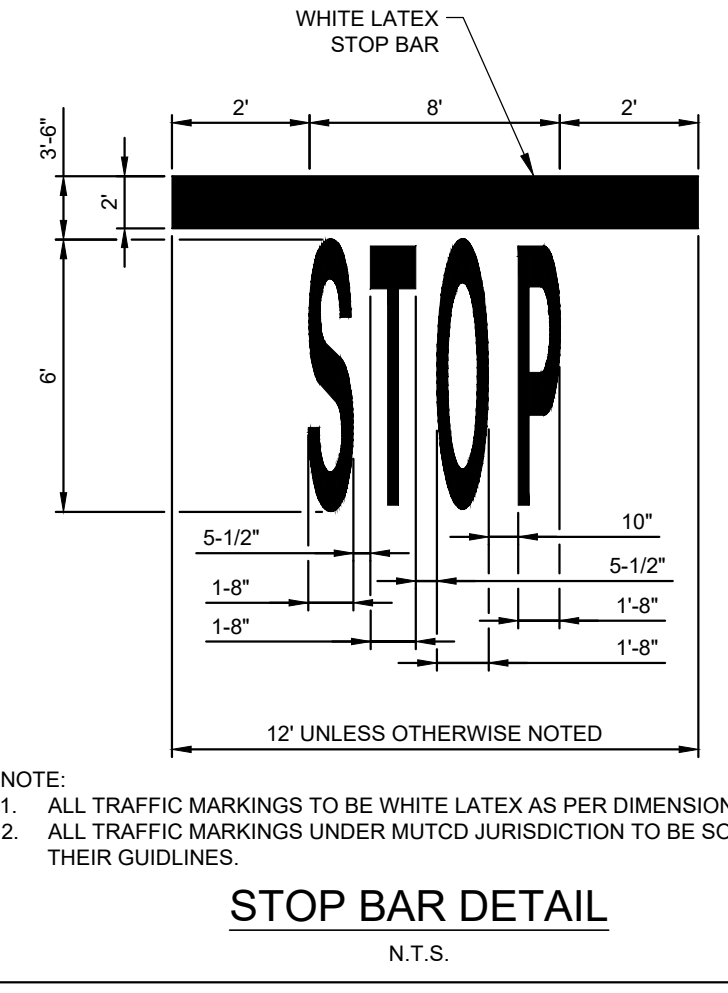
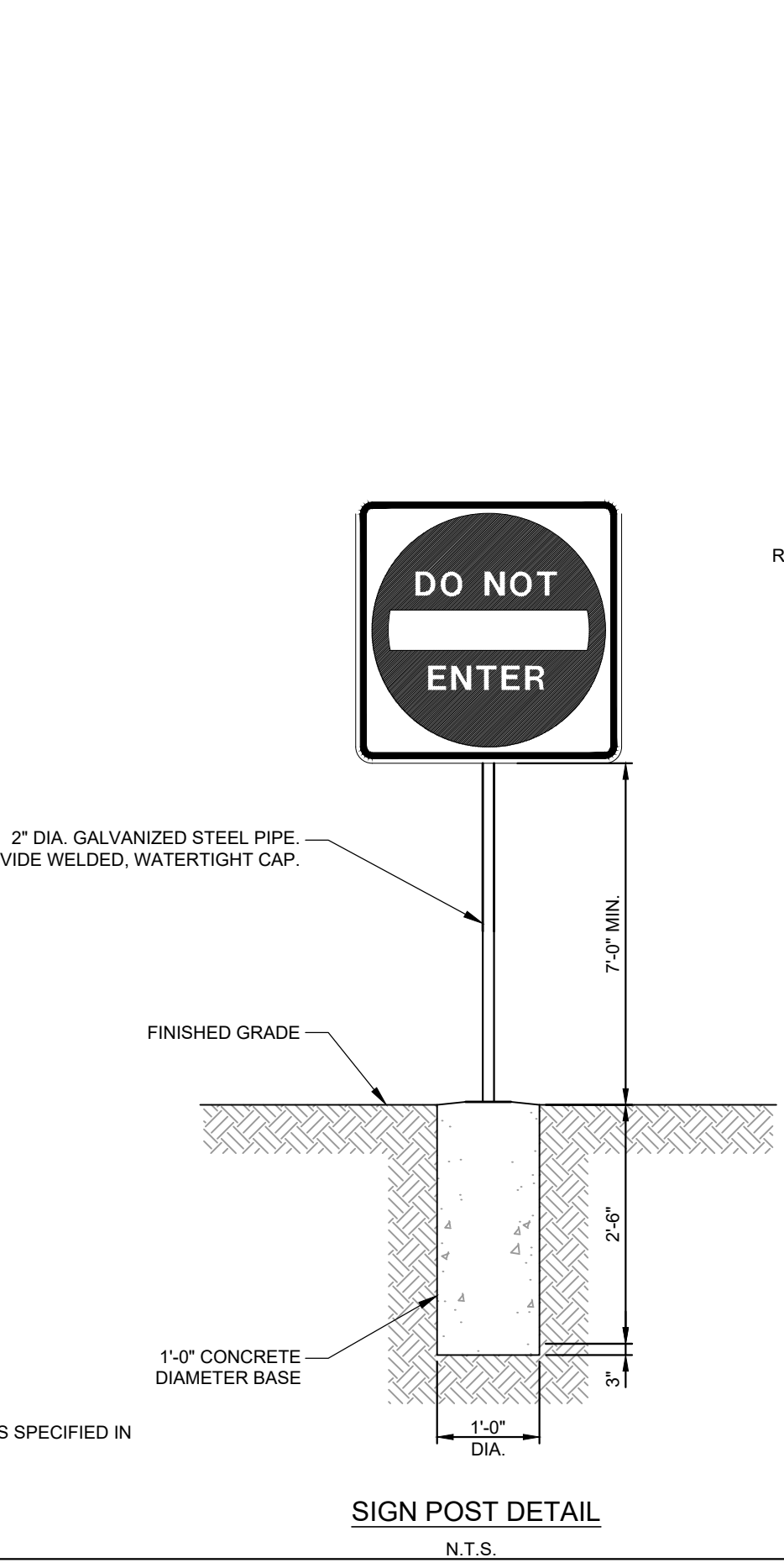


**SIGNAGE ELEVATION**



- NOTES:**
1. STRIPING IS TO BE PAINT, CONFORMING WITH FDOT STANDARD INDEX 17346.
  2. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF THE STRIPE.
  3. EACH SPACE SHALL HAVE FTP-20-4, R7-8A AND FTP-22-4 SIGNS AS SHOWN, FABRICATED WITH REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND BORDER, APPLIED TO A SHEET ALUMINUM BACKING 0.080 IN THICKNESS. MESSAGE LETTERING SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  4. CONCRETE FOOTING SHALL BE PORTLAND CEMENT CONCRETE AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
  5. METAL POST SHALL BE GALVANIZED AND ALL BOLTS, NUTS, WASHERS, AND SCREWS SHALL BE RUSTPROOF. POST SHALL BE PLACED A MINIMUM OF 2' CLEAR FROM EDGE OF CONCRETE SIDEWALK. POST SHALL HAVE 3/8" HOLES DRILLED 1" ON CENTER FULL LENGTH. MOUNT SIGNS WITH 5/16"x2-1/4" BOLTS, TOP AND BOTTOM OF SIGNS.

**ADA STRIPING AND SIGNAGE**



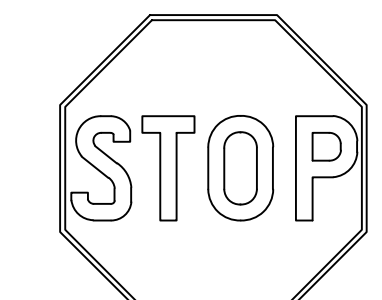
RAISING CANES MOBILE ORDER PICKUP SIGN 12"x18"



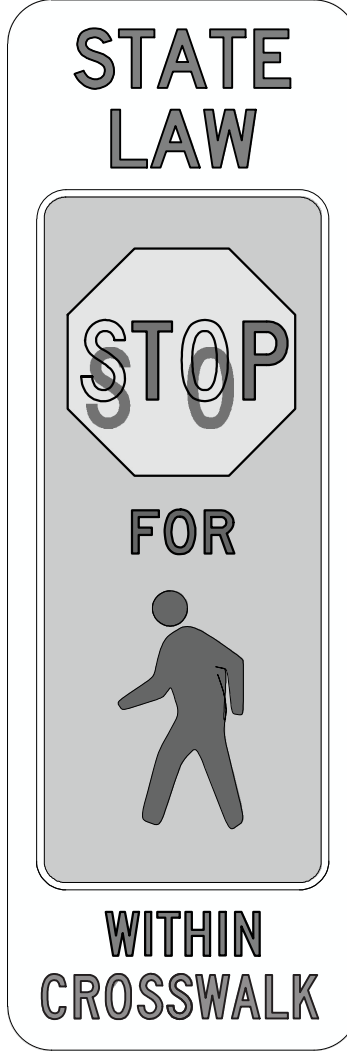
STANDARD RED AND WHITE LATEX SIGN "R5-1" 30"x30"



STANDARD BLACK AND WHITE LATEX SIGN "R3-5R" 30"x12"



STANDARD 30X30 RED STOP SIGN "R1-1" 30"x30"



R1-6a IN-STREET PEDESTRIAN CROSSING

**STANDARD PARKING LOT SIGNS**

PROJECT DATUM NAVD 88

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
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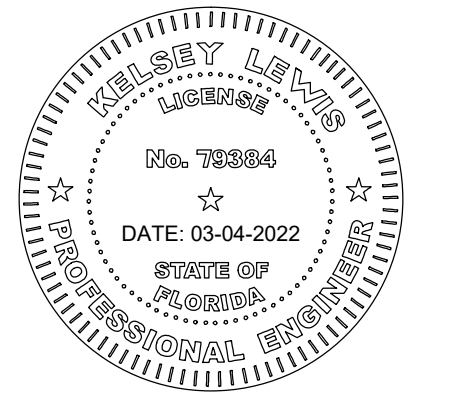
Restaurant:  
**Raising Cane's**  
Restaurant #0734  
1917 West Tennessee St.  
Tallahassee, FL  
P4E-AV [B] M

Designer's Information:  
**CSRS**  
6767 Perkins Road, Suite 200  
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Telephone: 225 769-0546  
www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV  
Project Issue Date: 03-04-2022  
CSRS Project Manager: JH

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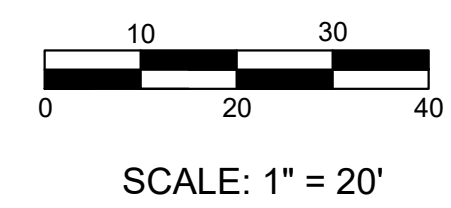
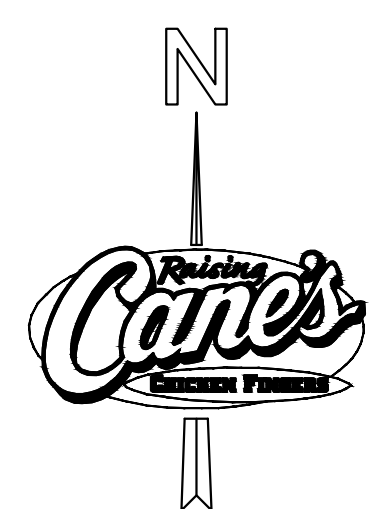
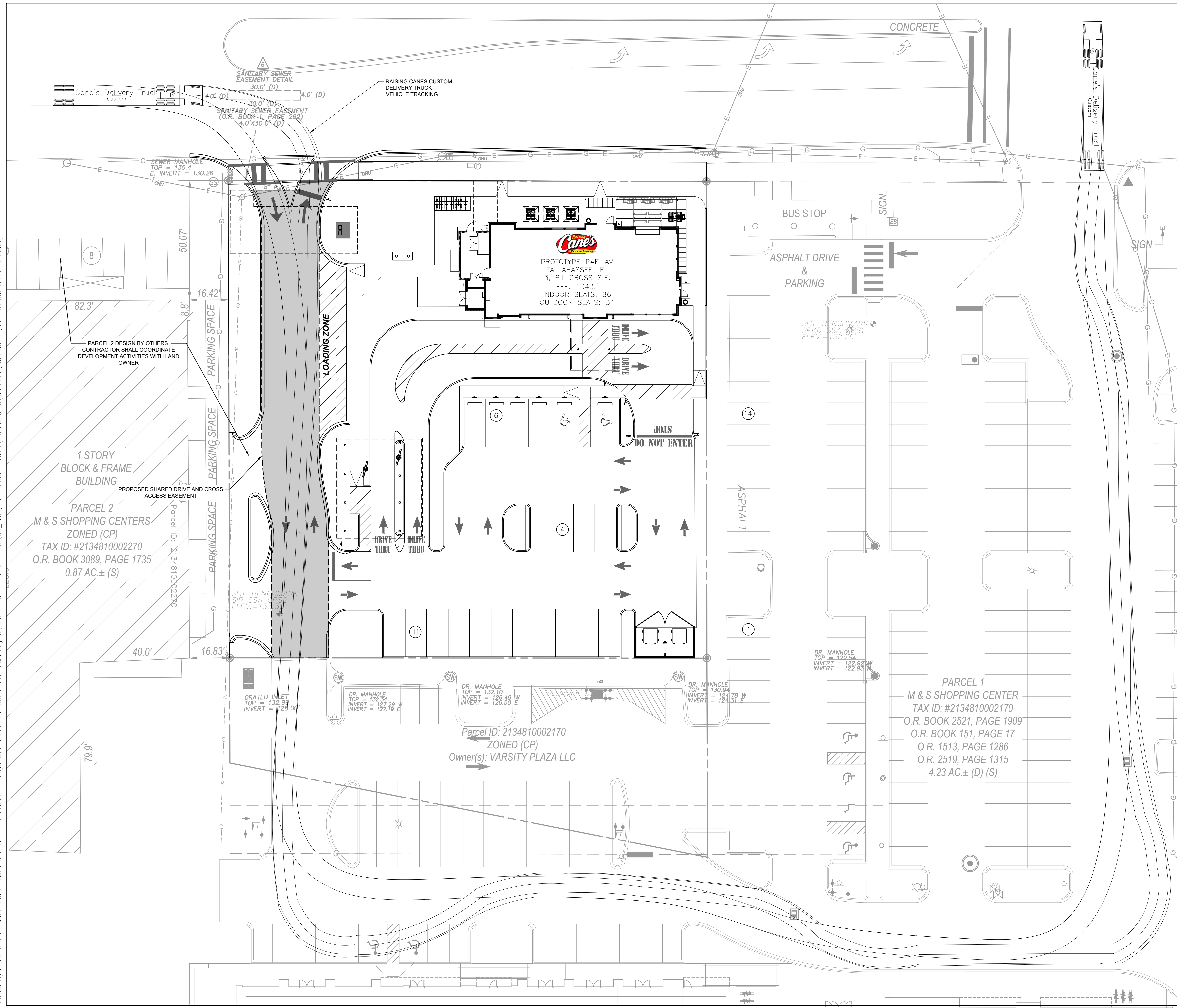
Sheet Versions:

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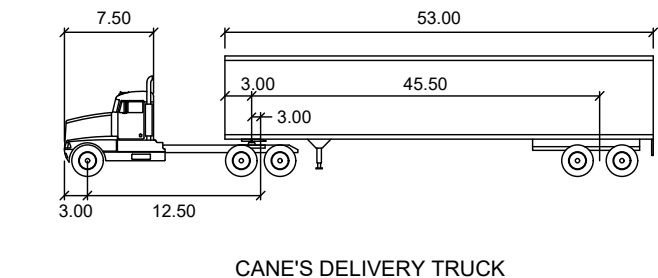
**STRIPING AND SIGNAGE PLAN**

Sheet Number:  
**C5.2**

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- NOTES**
- BUS-40 USED FOR FIRE AND WASTE MOVEMENTS
  - RAISING CANES CUSTOM DELIVERY TRUCK USED FOR RAISING CANES LOADING ZONE AFTER HOURS



TRACTOR WIDTH	FEET
TRACTOR WIDTH	:8.00
TRAILER WIDTH	:8.50
TRACTOR TRACK	:8.00
TRACTOR TRACK	:8.50
LOCK TO LOCK TIME	:8.0
STEERING ANGLE	:28.4
ARTICULATING ANGLE	:75.0

- DELIVERY TRUCK ROUTE**
- ENTER SHARED ACCESS FROM EAST BOUND W TENNESSEE STREET
  - ROUTE THROUGH SHOPPING CENTER
  - EXIT TO THE EAST SIDE OF THE RAISING CANES DEVELOPMENT AT THE TRAFFIC SIGNAL ON WEST TENNESSEE STREET



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Prototype Phase: 2021-1.0 P4E-AV  
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 CSRS Project Manager: JH

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Sheet Versions:

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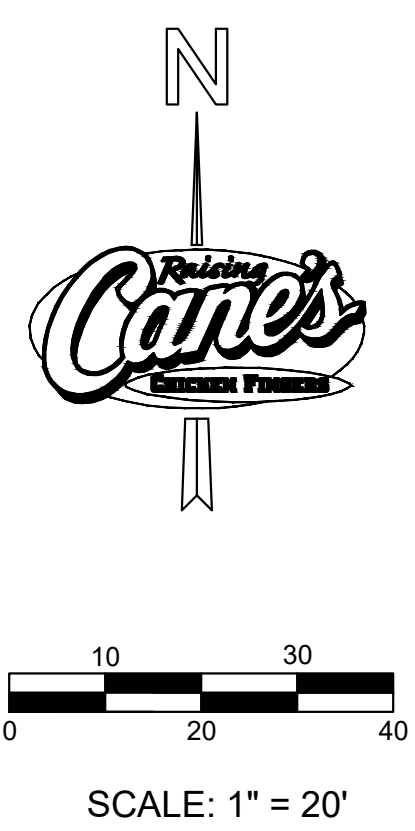
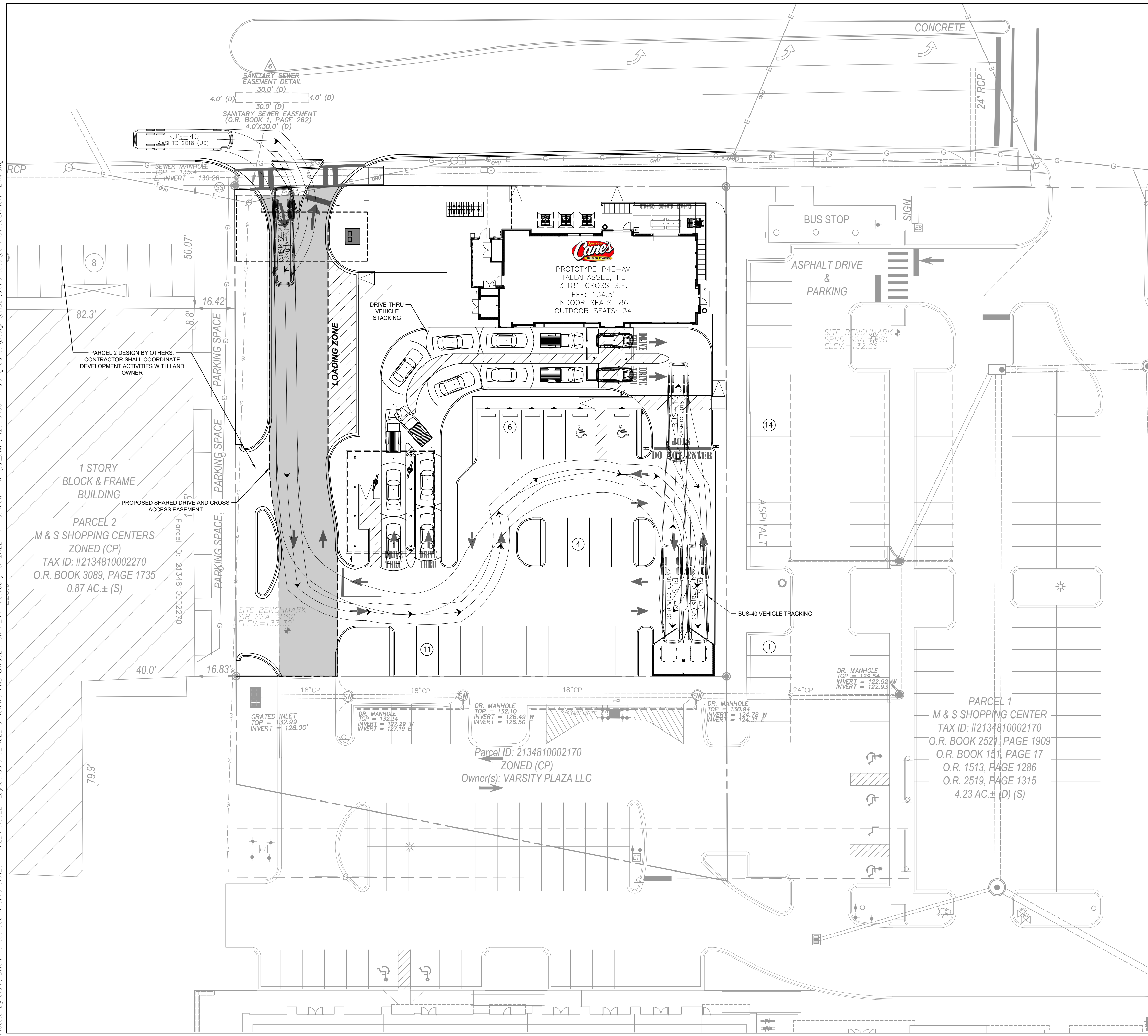
**CIRCULATION PLAN**

Sheet Number:

**C5.4**

PROJECT DATUM NAVD 88  
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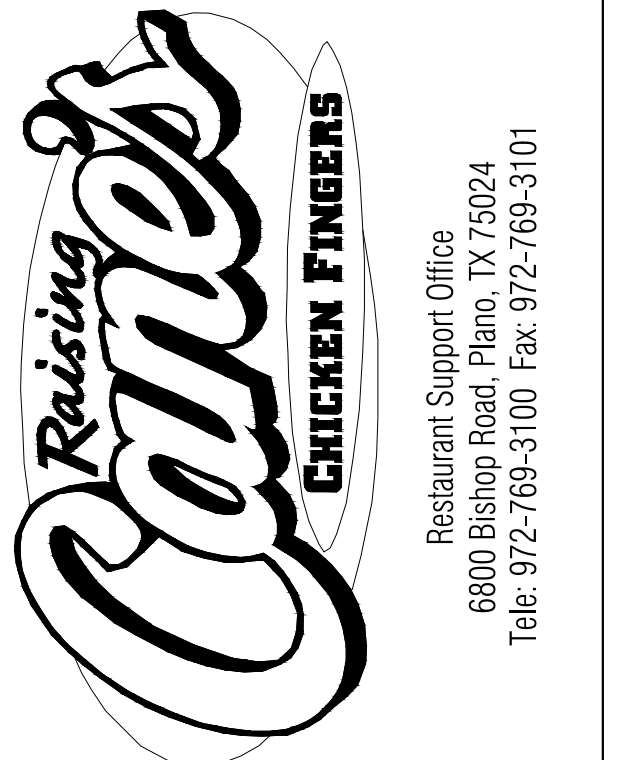
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**LEGEND**

- PROPOSED UTILITY EASEMENT
- [Vehicle Icon] VEHICLE STACKING
- [Dashed Line Icon] SHARED DRIVE AND CROSS ACCESS EASEMENT

- NOTES**
- BUS-40 USED FOR FIRE AND WASTE MOVEMENTS
  - RAISING CANES CUSTOM DELIVERY TRUCK USED FOR RAISING CANES LOADING ZONE AFTER HOURS



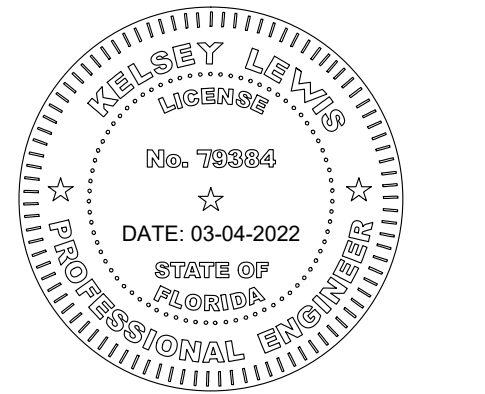
Restaurant:  
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 Restaurant #0734  
 1917 West Tennessee St.  
 Tallahassee, FL  
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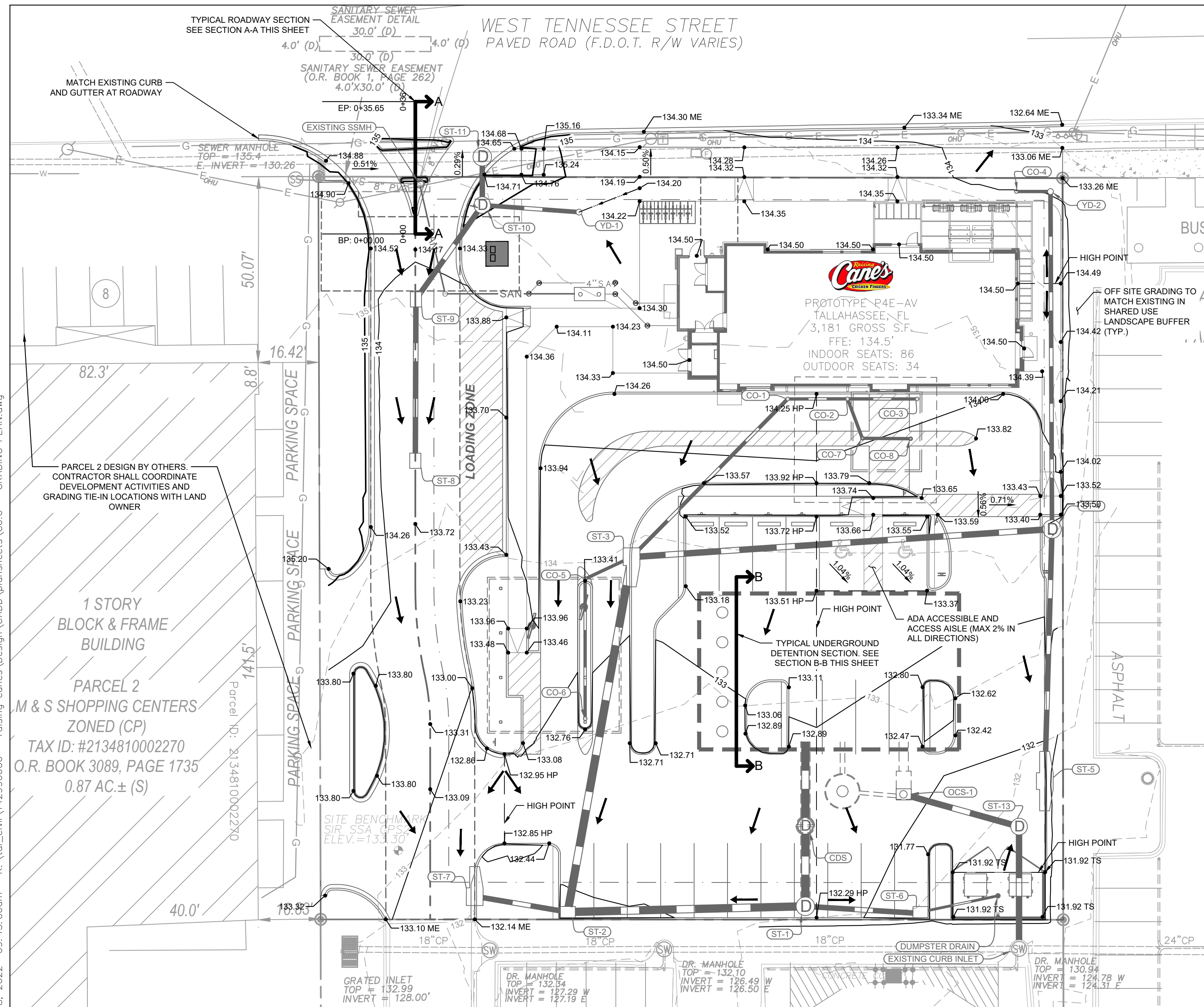
Sheet Title:  
**VEHICLE STACKING AND CIRCULATION PLAN**

Sheet Number:  
**C5.5**

PROJECT DATUM NAVD 88  
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Plotted By: Clark, Dillon Sheet: RAISING CANES - TALLAHASSEE Layout: C6.0 GRADING PLAN February 18, 2022 09:43:08am K:\Vol\_Civil\142906000 - raising canes\Design\CADD\plan\streets\C6.0 - GRADING PLAN.dwg



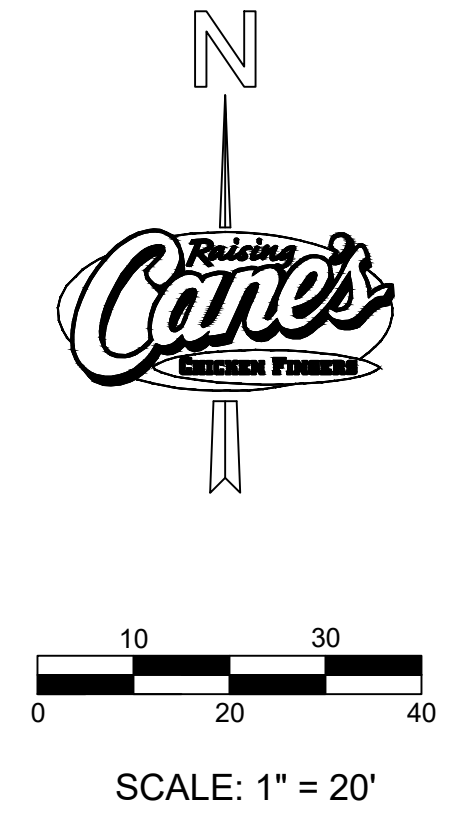
### GRADING NOTES

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF TALLAHASSEE STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

Please incorporate and prominently display the following contractor notice on all site plans and environmental plans. This notice is provided to the contractor and owner to advise them of their ultimate responsibility of compliance with Florida Accessibility Code (aka Handicap Code).

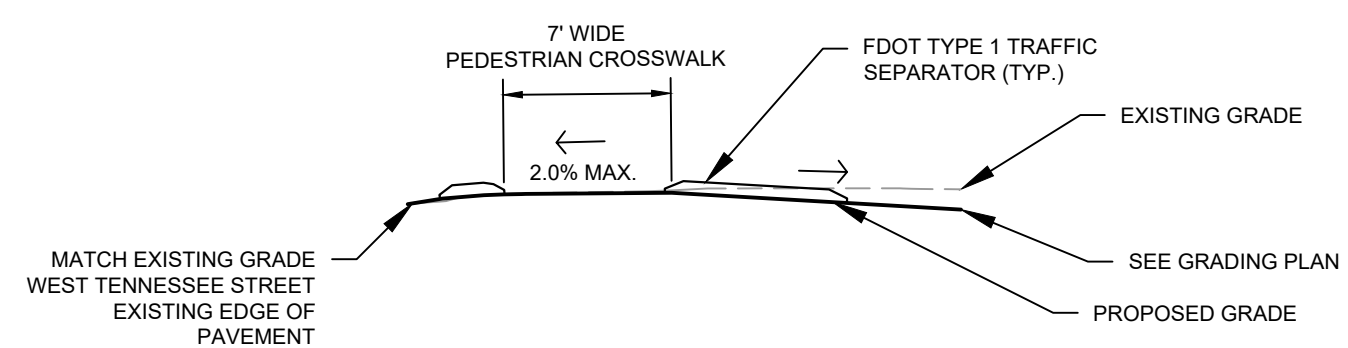
#### CONTRACTOR NOTICE 2020 (effective December 31, 2020)

- The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.) and the 2020 Florida Building Code, Accessibility, 4th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. and FBC-A. The following items take precedence and supersede other site details on drawings:
- ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. §208.1 and §502.3, FBC-A and F.S. 553.5041.
  - ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §208.3.1 FBC-A and F.S. 553.5041(5)(b).
  - ACCESSIBLE PARKING spaces shall be 12' wide, and outlined with blue paint. §502.2 and §502.6, FBC-A.
  - ACCESSIBLE AISLES required adjacent to parking spaces shall be 5' wide with diagonal striping. §502.6, FBC-A.
  - ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1/4") on a stable, firm & slip resistant surface. Re: §302.1, §502.3, FBC-A.
  - ACCESSIBLE PARKING signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60" (inches) from the ground to the bottom of the signs). Re: §502.6 and F.S. 553.5041.
  - CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2, §406, FBC-A.
  - CURB RAMPS shall have a landing with a minimum clear length of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406, FBC-A.
  - ALL RAMPS with a rise greater than 6" shall provide edge protection complying with §405.9 FACBC. Ramps shall have 60" min level landings at the top & bottom. Re: §405.7, FBC-A.
  - ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Re: §1010.9 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
  - ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope (unless ramps, handrails with proper extensions are provided) with cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
  - \*Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.
- \* EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.3 FBC-A



### LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED UNDERGROUND STORMWATER FACILITY
- PROPOSED FLOW ARROW WITH SLOPE
- PROPOSED SPOT ELEVATION
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- PROPOSED ACCESS TO UNDERGROUND FACILITY
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- TS TOP OF SLAB (DUMPSTER PAD)
- SW TOP OF SIDEWALK
- ME MATCH EXISTING ELEVATION
- EX MATCH EXISTING SURVEYED ELEVATION
- TG TOP OF GRATE
- HP HIGH POINT



**SECTION A-A**  
TYPICAL DRIVEWAY SECTION  
N.T.S.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tel: 972-769-3100 Fax: 972-769-3101

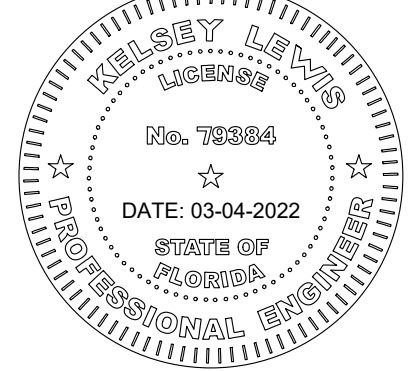
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WWW.KIMLEY-HORN.COM REGISTRY No. 696



Sheet Versions:

#	Date	Description

Sheet Title:

**GRADING PLAN**

Sheet Number:

**C6.0**

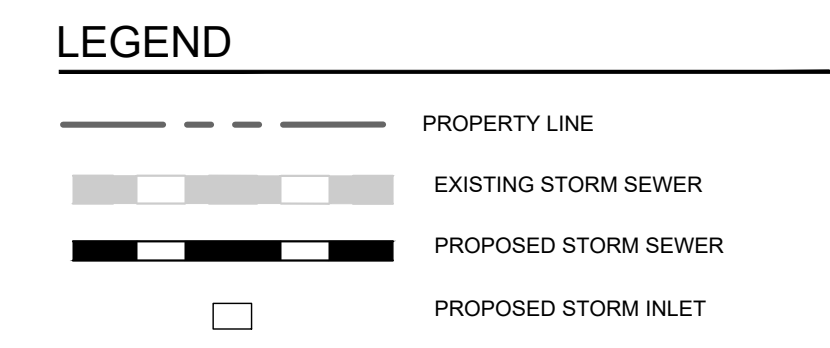
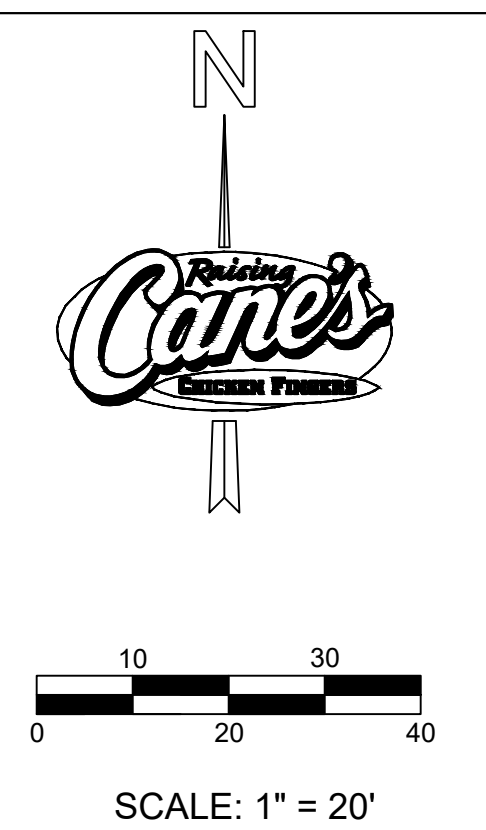
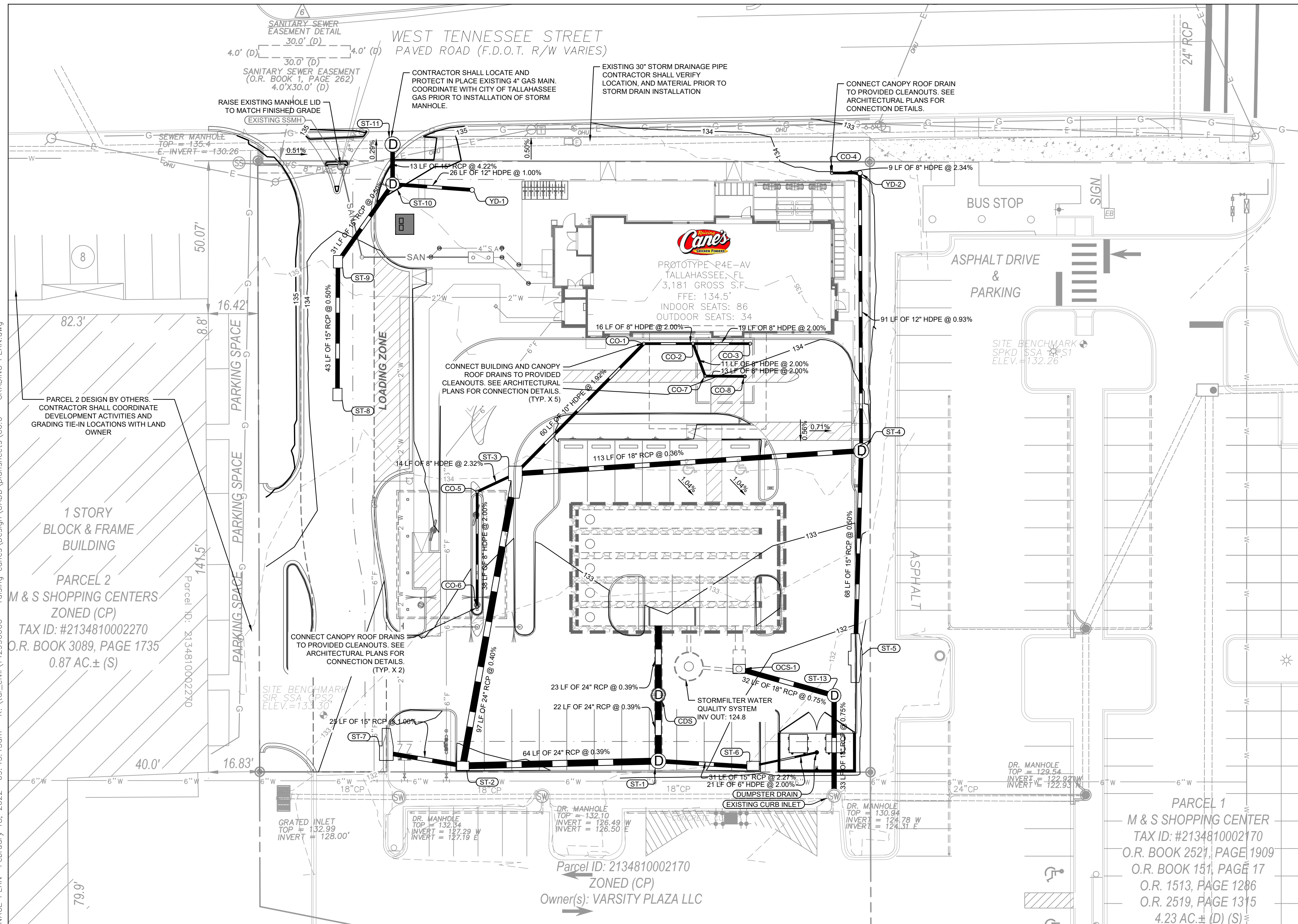
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotted By: Clark, Dillon    Sheet: Set: RAISING CANES - TALLAHASSEE    Layout: C6.1    DRAINAGE PLAN    February 18, 2022    09:43:13am    K:\vol\civil\12939060 - raising canes\Design\CADD\plansheets\C6.0 - GRADING PLAN.dwg



**DRAINAGE NOTES**

1. CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
2. CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
3. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SIDED BEARING HEAVY DUTY H-20 RATED TRAFFIC RIMS AND GRATES.
4. CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
5. ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
6. SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
7. ROOF DRAIN CONNECTIONS TO DRAINAGE PIPE SHALL BE AS FOLLOWS:
  - A. FOR ADS N-12 CORRUGATED POLYETHYLENE DRAINAGE PIPE USE ADS DUAL WALL FABRICATED REDUCING SADDLE TEE 4"X24" DIAMETER.
  - B. FOR RCP DRAINAGE PIPE MAKE CONNECTION PER FDOT INDEX 280, CONCRETE COLLAR FOR JOINING MAINLINE PIPE AND STUB PIPE DETAIL.
  - C. NOTIFY CONSULTANT FOR CONNECTION METHOD TO STEEL PIPE.
8. ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT INDEX #280. ALL DRAINAGE PIPE JOINTS NEED TO BE FILTER FABRIC WRAPPED REGARDLESS OF MATERIAL.
9. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
10. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
11. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
12. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
13. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
14. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
15. ALL CATCH BASINS WITHIN PROPOSED TRAFFIC AREAS SHALL HAVE BICYCLE PROOF GRATES.
16. CONTRACTOR TO FLUSH AND VACUUM ENTIRE ON-SITE STORM WATER SYSTEM UPON COMPLETION OF PROPOSED WORK.



Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tele: 972-769-3100 Fax: 972-769-3101

Restaurant:  
**Raising Cane's**  
 Restaurant #0734  
 1917 West Tennessee St.  
 Tallahassee, FL  
 P4E-AV [B] M

Designer's Information:  
**CSRS**  
 6767 Perkins Road, Suite 200  
 Baton Rouge, Louisiana 70808  
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 www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV  
 Project Issue Date: 03-04-2022  
 CSRS Project Manager: JH

FOR REVIEW  
**Kimley»Horn**

2619 CENTENNIAL BLVD, STE 200, TALLAHASSEE, FL 32308  
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 WWW.KIMLEY-HORN.COM    REGISTRY No. 696



Sheet Versions:

#	Date	Description

Sheet Title:

**DRAINAGE PLAN**

Sheet Number:

**C6.1**

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
CDS	PRETREATMENT STRUCTURE RIM: 132.62 INV IN: 125.64 INV OUT: 125.64
CO-1	CLEANOUT RIM: 134.23 INV IN: 127.51 INV OUT: 127.51
CO-2	CLEANOUT RIM: 134.19 INV IN: 127.83 INV IN: 130.99 INV OUT: 127.83
CO-3	CLEANOUT RIM: 134.70 INV OUT: 128.21
CO-4	CLEANOUT RIM: 133.84 INV OUT: 128.54

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
CO-5	CLEANOUT RIM: 133.41 INV IN: 126.68 INV OUT: 126.68
CO-6	CLEANOUT RIM: 133.28 INV OUT: 127.43
CO-7	CLEANOUT RIM: 133.99 INV IN: 131.21 INV OUT: 131.21
CO-8	CLEANOUT RIM: 133.92 INV OUT: 131.47
DUMPSTER DRAIN	RIM: 131.75 INV OUT: 128.53

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
EXISTING CURB INLET	CONNECT TO EXISTING CURB INLET RIM: 130.96 INV IN: 124.31 INV IN: 124.78 INV OUT: 124.31
OCS-1	SEE SHEET C6.4 FOR DETAILS RIM: 132.29 INV OUT: 124.80
ST-1	CONST. TYPE J8 MANHOLE PER FDOT INDEX 425-001 RIM: 132.31 INV IN: 127.40 INV IN: 125.72 INV OUT: 125.72
ST-2	CONST. TYPE C INLET PER FDOT INDEX 425-052 RIM: 131.80 INV IN: 127.87 INV IN: 125.97 INV OUT: 125.97
ST-3	CONST. TYPE J5 INLET PER FDOT INDEX 425-021 RIM: 133.70 INV IN: 126.36 INV IN: 126.36 INV IN: 126.36 INV OUT: 126.36

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
ST-4	CONST. TYPE J8 MANHOLE PER FDOT INDEX 425-001 RIM: 134.06 INV IN: 127.48 INV IN: 127.48 INV OUT: 126.77
ST-5	CONST. TYPE P5 INLET PER FDOT INDEX 425-021 RIM: 131.67 INV OUT: 127.82
ST-6	CONST. TYPE C INLET PER FDOT INDEX 425-052 RIM: 131.97 INV IN: 128.10 INV IN: 128.10
ST-7	CONST. TYPE P5 INLET PER FDOT INDEX 425-021 RIM: 132.20 INV OUT: 126.14
ST-8	CONST. TYPE C INLET PER FDOT INDEX 425-052 RIM: 133.22 INV OUT: 129.92

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
ST-9	CONST. TYPE C INLET PER FDOT INDEX 425-052 RIM: 133.50 INV IN: 128.71 INV OUT: 129.71
ST-10	CONST. TYPE J8 MANHOLE PER FDOT INDEX 425-001 RIM: 134.93 INV IN: 129.55 INV IN: 129.55 INV OUT: 129.55
ST-11	CONST. TYPE J8 MANHOLE RECTANGULAR 3'-6" STRUCTURE BOT. PER FDOT INDEX 425-001 RIM: 134.94 INV IN: 129.00 INV IN: 129.24 INV OUT: 128.24
ST-13	CONST. TYPE J8 MANHOLE PER FDOT INDEX 425-001 RIM: 131.81 INV IN: 124.56 INV IN: 124.56 INV OUT: 124.56
YD-1	12" YARD DRAIN RIM: 134.00 INV OUT: 129.81

**STRUCTURE TABLE**

STRUCTURE NAME:	DETAILS:
YD-2	12" YARD DRAIN RIM: 133.82 INV IN: 128.32 INV OUT: 128.32

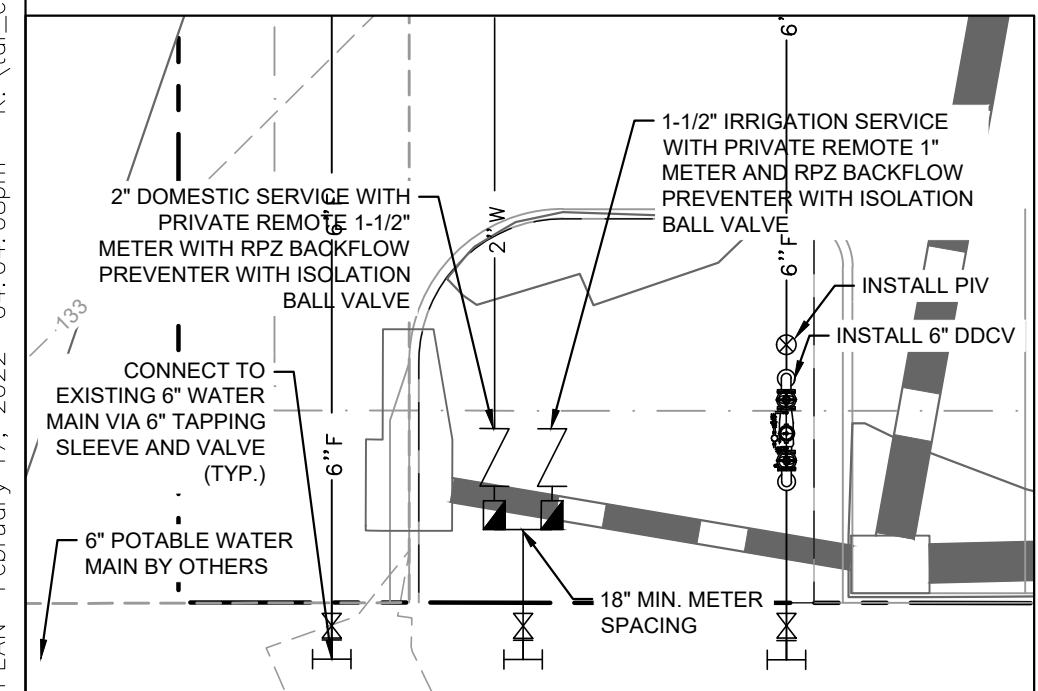
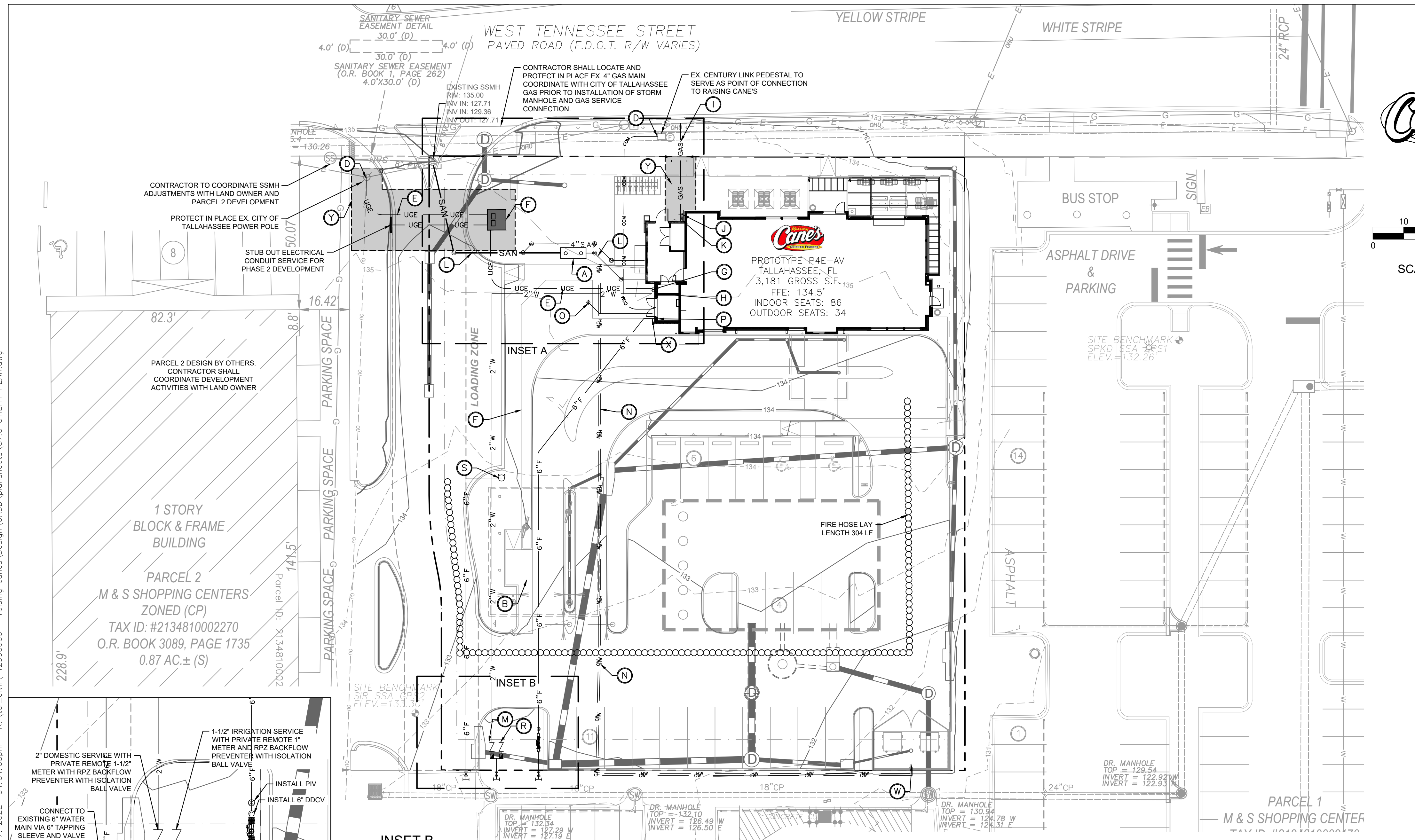
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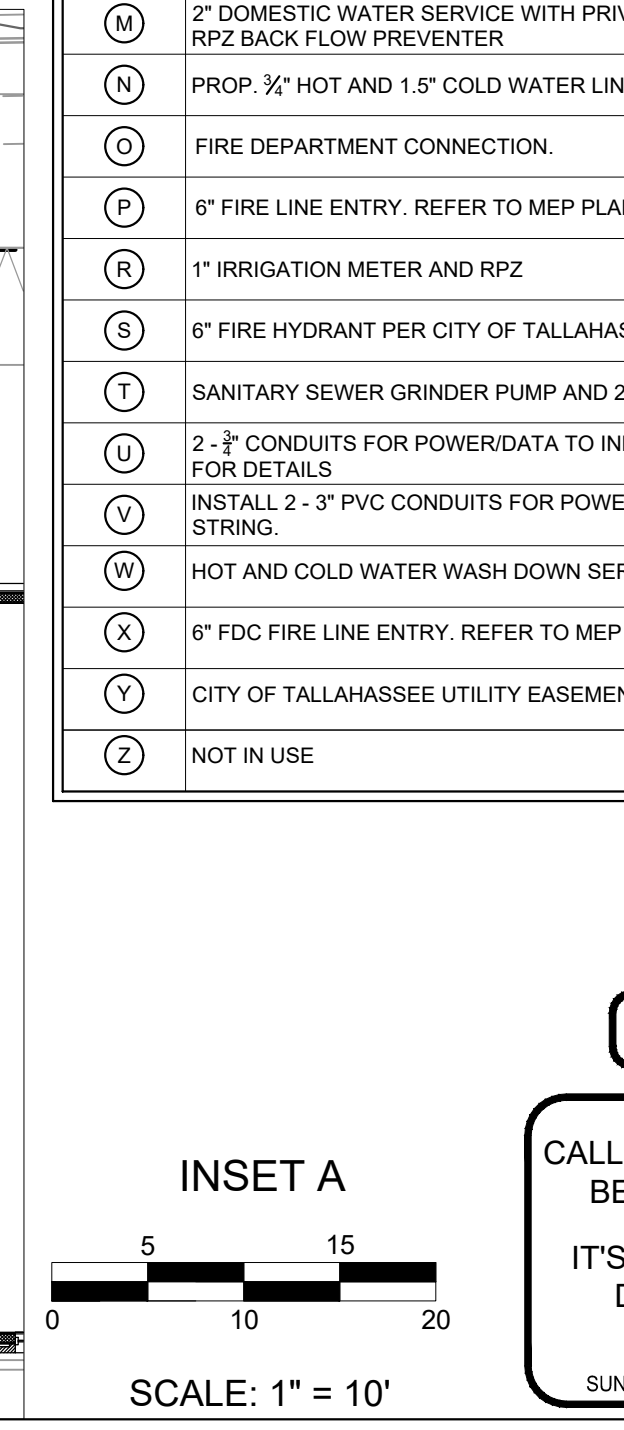
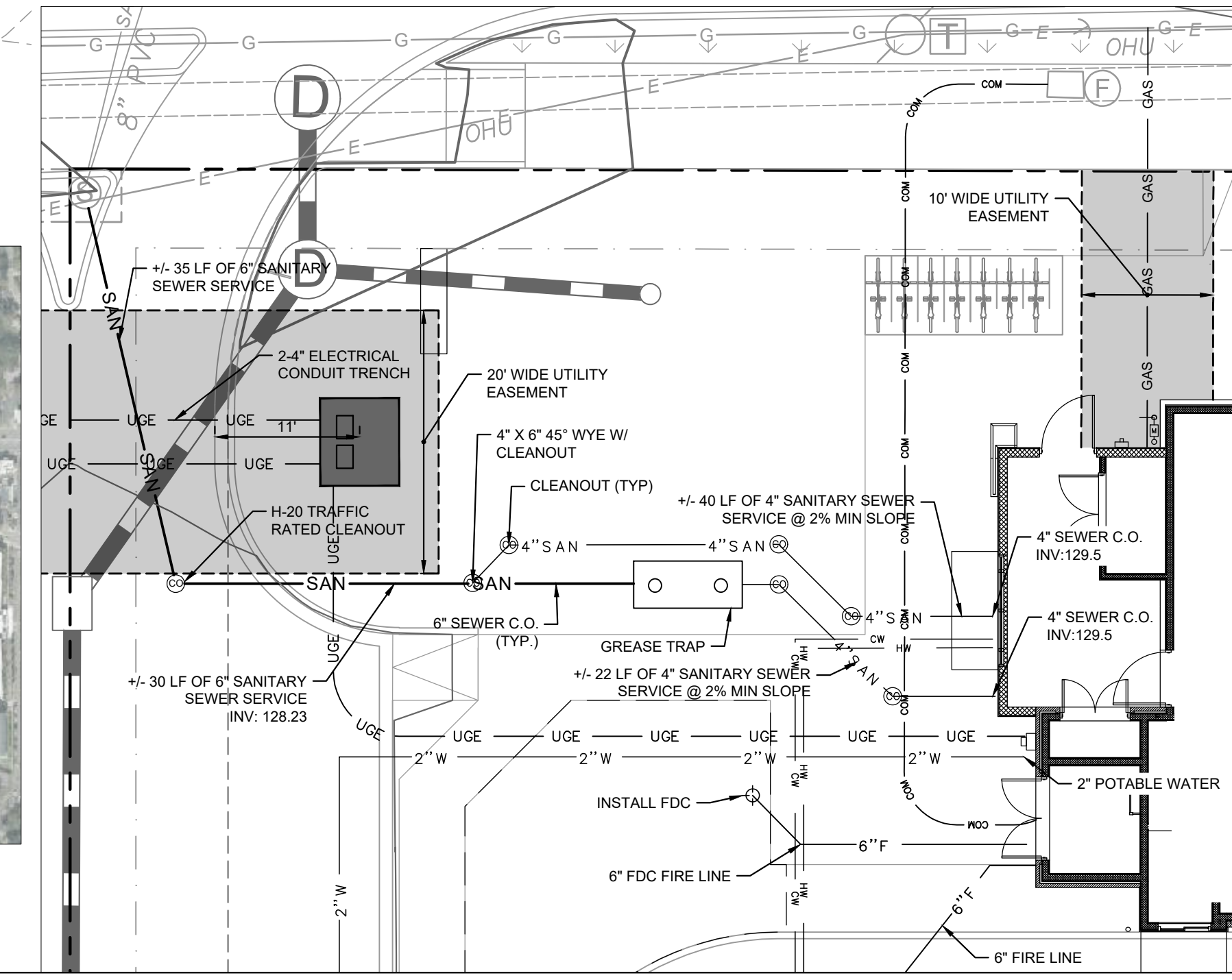
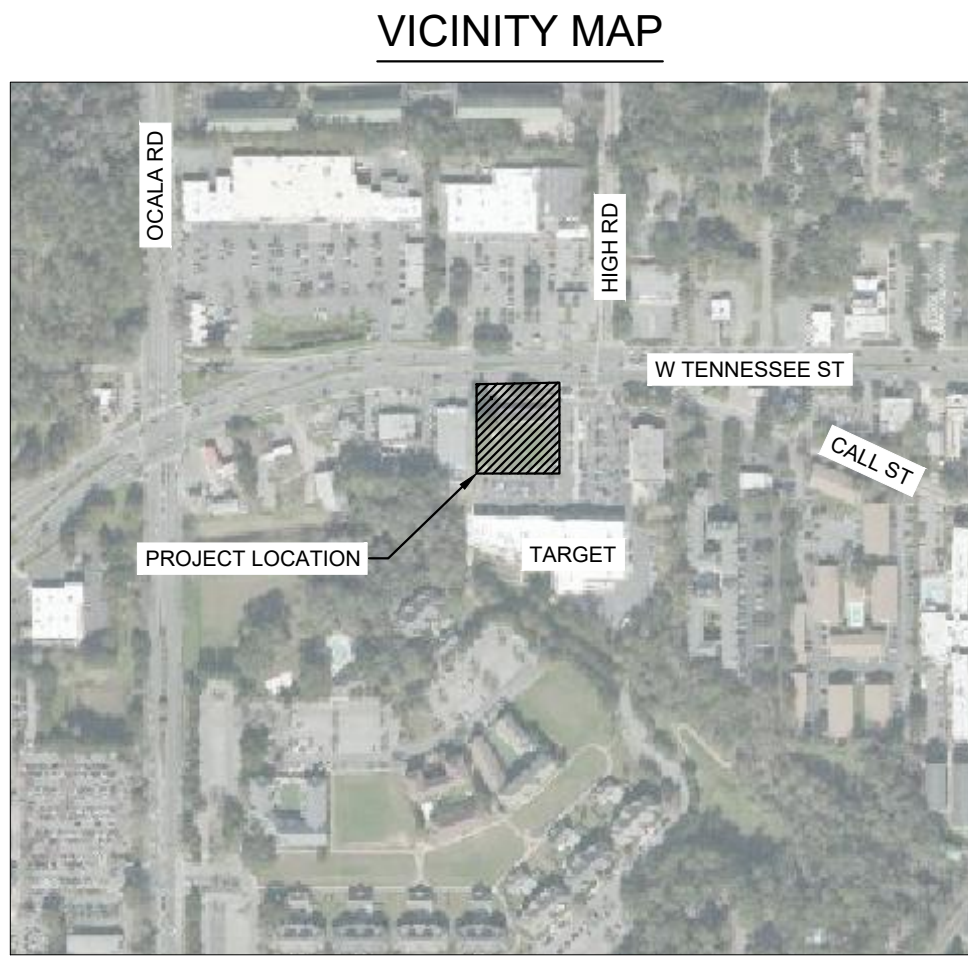
IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Plotfile: By: Clark, Dillon Sheet: Set: RAISING CANES Layout: C7.0 UTILITY PLAN February 17, 2022 04:04:08pm K:\Vtd\civil\42990600 - raising canes\cadd\plansheets\C7.0 UTILITY PLAN.dwg



- UTILITY NOTES:**
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES, LATEST EDITION.
  - DEPTH OF FIRE MAIN PIPING: 36" MINIMUM UNDER DRIVING SURFACES, 30" MINIMUM UNDER NON-DRIVING SURFACES. FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE CITY OF TALLAHASSEE FIRE DEPARTMENT. FIRE HYDRANTS SHALL BE A MINIMUM OF 24" ABOVE GRADE MEASURED TO THE CENTER OF THE STEAMER NOZZLE. STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE. DEPTH OF WATER MAIN: 36" MINIMUM.
  - A MINIMUM OF 36" OF CLEAR SPACE SHALL BE MAINTAINED TO PERMIT ACCESS TO (AND OPERATION OF) FIRE PROTECTION EQUIPMENT, FIRE DEPARTMENT INLET CONNECTIONS, AND/OR FIRE PROTECTION SYSTEM CONTROL VALVES.
  - A CLEAR SPACE OF NOT LESS THAN 60" (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2-1/2" (64 MM).
  - REFER TO ARCHITECTURAL PLANS FOR EXACT CONNECTIONS TO BUILDINGS.
  - ALL CLEANOUTS IN TRAFFIC AREAS SHALL MEET H-20 TRAFFIC LOADING REQUIREMENT.
  - ALL CLEANOUTS IN PEDESTRIAN AREAS SHALL HAVE ADA-COMPLIANT CAPS INSTALLED.
  - WATER METERS SHALL BE LOCATED IN GREEN AREAS AND NOT WITHIN PAVEMENT, SIDEWALK, ETC.
  - WATER METERS SHALL BE 30" MINIMUM FROM BUILDINGS AND SHALL HAVE 18" CLEARANCE MINIMUM FROM CENTER TO CENTER.
  - ALL WATER SERVICE LINES SHALL BE HOPE UP TO THE METER ASSEMBLY. SEE PLANS FOR WATER SERVICE MATERIAL AFTER METER ASSEMBLY.
  - PROVIDE AN ISOLATION BALL VALVE PRIOR TO EACH METER PER CITY SPECIFICATIONS.
  - ALL PROPOSED HYDRANTS SHALL BE A MAXIMUM OF 12' FROM THE PROPOSED EDGE OF PAVEMENT.
  - HORIZONTAL SEPARATION BETWEEN WATER MAIN AND STORM SEWER SHALL BE A MIN. OF 3'.
  - HORIZONTAL SEPARATION BETWEEN WATER MAIN AND SANITARY SEWER SHALL BE A MIN. OF 6'.
  - ALL PROPOSED SEWER SERVICES SHALL WYE IN TO THE PROPOSED SEWER MAIN.
  - ALL COSTS ASSOCIATED WITH THE RELOCATION OR MODIFICATION OF EXISTING ELECTRICAL FACILITIES WILL BE BORNE BY THE APPLICANT INCLUDING, BUT NOT LIMITED TO, THE HOLDING OF ELECTRIC POLES FOR UTILITY INSTALLATION.
  - A LETTER OF AGREEMENT WILL BE REQUIRED PRIOR TO CONSTRUCTION PLAN APPROVAL.
  - THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. PER NFPA 1, 18.2.4.1.1, SEVENTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
  - PRIOR TO CONSTRUCTION OF BUILDINGS FOR FACILITIES, AN APPROVED WATER SUPPLY, CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW FOR FIRE PROTECTION SHALL BE ESTABLISHED WHERE HYDRANTS ARE FIRST INSTALLED OR THAT THE DEVELOPMENT IS SERVED BY EXISTING FUNCTIONING HYDRANTS LOCATED WITHIN 500 FEET FROM THE FURTHEST BUILDING CORNER AS THE FIRE TRUCK WOULD DRIVE. PER NFPA 1, 18.3.1, SEVENTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
  - ALL GREASE TRAPS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
  - IF UNSUPERVISED AND ISOLATED ABOVE GROUND FUEL STORAGE TANKS ARE TO BE LOCATED ON THE PROPERTY PRIOR TO BE LOCATED ON THE PROPERTY PRIOR TO OR DURING CONSTRUCTION, CITY OF TALLAHASSEE PLANS REVIEW STAFF MUST BE CONTACTED PRIOR TO TANK INSTALLATION. NFPA 1, 68.2.1.2.1 AND 68.2.1.2.2, SEVENTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.



**UTILITY LEGEND**

---	PROPERTY LINE
---	EASEMENT LINE
---	PROPOSED 6" FIRE LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED 4" SANITARY SEWER SERVICE LINE
---	PROPOSED 6" WATER MAIN
---	PROPOSED 2" DOMESTIC WATER SERVICE
---	PROPOSED 1" COLD WATER SUPPLY
---	PROPOSED 3/4" HOT WATER SUPPLY
---	PROPOSED GAS LINE
---	PROPOSED UNDERGROUND ELECTRIC LINE
---	PROPOSED UNDERGROUND TELEPHONE LINE
---	FIRE HOSE LAY LENGTH
---	PROPOSED STORM DRAINAGE LINE
---	EXISTING STORM DRAINAGE LINE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING GAS LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	PROPOSED FIRE HYDRANT
---	PROPOSED FIRE DEPARTMENT CONNECTION
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	PROPOSED TEE
---	PROPOSED BEND
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING SIGN
---	PROPOSED CITY OF TALLAHASSEE EASEMENT

**UTILITY KEYNOTE LEGEND**

(A)	PROPOSED GREASE TRAP. REFER TO ARCHITECTURAL/MEP PLANS.
(B)	1/2" COLD WATER LINE TO CREW AMENITY STATION
(C)	NOT IN USE.
(D)	BEGIN UNDERGROUND ELECTRIC CONDUIT.
(E)	INSTALL 2 EACH 4" PVC FOR ELECTRIC.
(F)	PROPOSED PAD MOUNTED TRANSFORMER. REFER TO UTILITY DESIGN BY E4 UTILITY DESIGN.
(G)	PROPOSED ELECTRIC SERVICE ENTRY. REFER TO ARCHITECTURAL PLANS.
(H)	2" DOMESTIC WATER ENTRY. REFER TO MEP PLANS FOR CONTINUATION.
(I)	GAS SERVICE CONDUIT PER CITY OF TALLAHASSEE SPECIFICATIONS
(J)	GAS METER LOCATION.
(K)	GAS ENTRY. REFER TO MEP PLANS FOR CONTINUATION
(L)	SDR-35 SANITARY SEWER PIPE.
(M)	2" DOMESTIC WATER SERVICE WITH PRIVATE REMOTE 1/2" WATER METER AND RPZ BACK FLOW PREVENTER
(N)	PROP. 3/2" HOT AND 1.5" COLD WATER LINES.
(O)	FIRE DEPARTMENT CONNECTION.
(P)	6" FIRE LINE ENTRY. REFER TO MEP PLANS FOR CONTINUATION.
(R)	1" IRRIGATION METER AND RPZ
(S)	6" FIRE HYDRANT PER CITY OF TALLAHASSEE SPECIFICATIONS
(T)	SANITARY SEWER GRINDER PUMP AND 2" FORCEMAIN
(U)	2-3" CONDUITS FOR POWER/DATA TO INBOUND MENU BOARD. REF MEP PLANS FOR DETAILS
(V)	INSTALL 2-3" PVC CONDUITS FOR POWER AND DATA TO SIGN. PROVIDE PULL STRING.
(W)	HOT AND COLD WATER WASH DOWN SERVICE TO DUMPSTER PAD
(X)	6" FDC FIRE LINE ENTRY. REFER TO MEP PLANS FOR CONTINUATION.
(Y)	CITY OF TALLAHASSEE UTILITY EASEMENT.
(Z)	NOT IN USE

PROJECT DATUM NAVD 88

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.



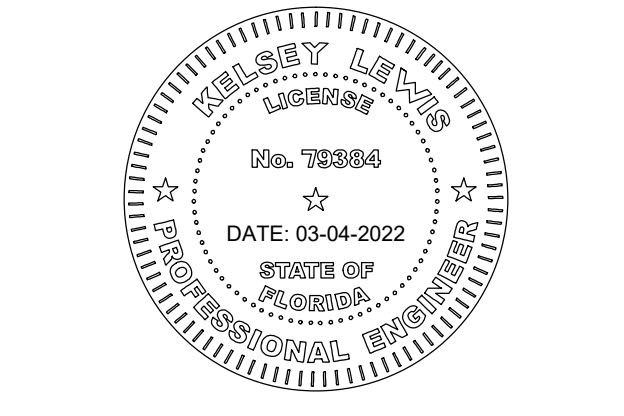
Restaurant:  
**Raising Cane's**  
 Restaurant #0734  
 1917 West Tennessee St.  
 Tallahassee, FL  
 P4E-AV [B] M

Designer's Information:  
**CSRS**  
 6767 Perkins Road, Suite 200  
 Baton Rouge, Louisiana 70808  
 Telephone: 225 769-0546  
 www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV  
 Project Issue Date: 03-04-2022  
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FOR REVIEW  
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2619 CENTENNIAL BLVD, STE 200, TALLAHASSEE, FL 32308  
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 WWW.KIMLEY-HORN.COM REGISTRY No. 696



Sheet Versions:

#	Date	Description

Sheet Title:

**UTILITY PLAN**

Sheet Number:

**C7.0**

Plotted By: Clark, Dillon Sheet Set: RAISING CANES - TALLAHASSEE Layout: C8.0 CONSTRUCTION DETAILS February 03, 2022 03:28:49pm K:\ai\_civil\14290600 - raising canes Design\CADD\plansheets\C8.0 CONSTRUCTION DETAILS.dwg

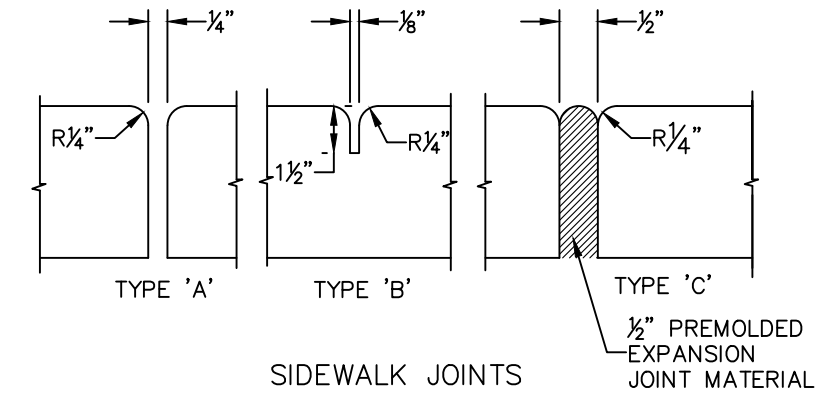
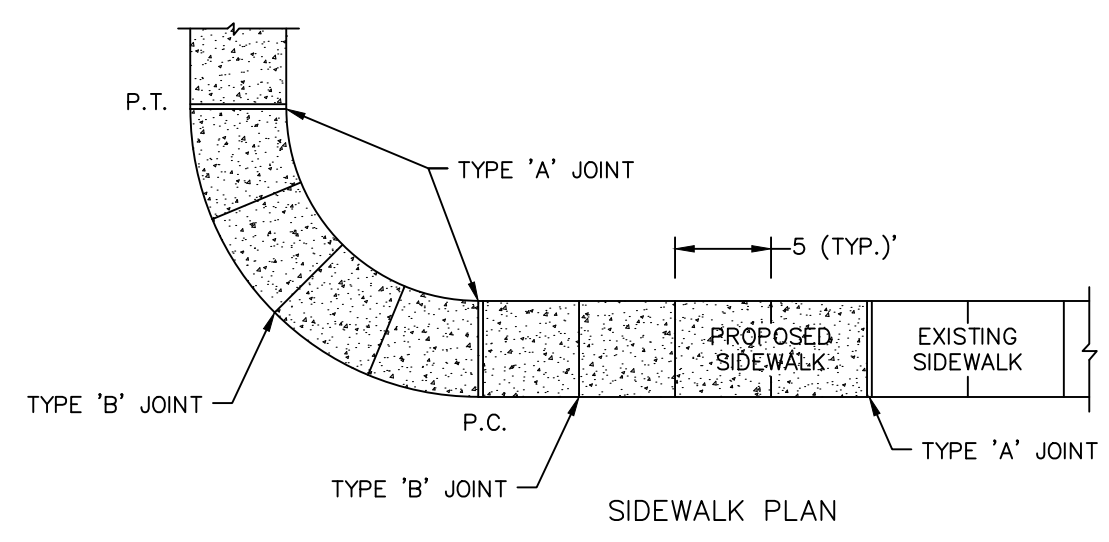


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	100' MAX. SPACING, P.C./P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES.

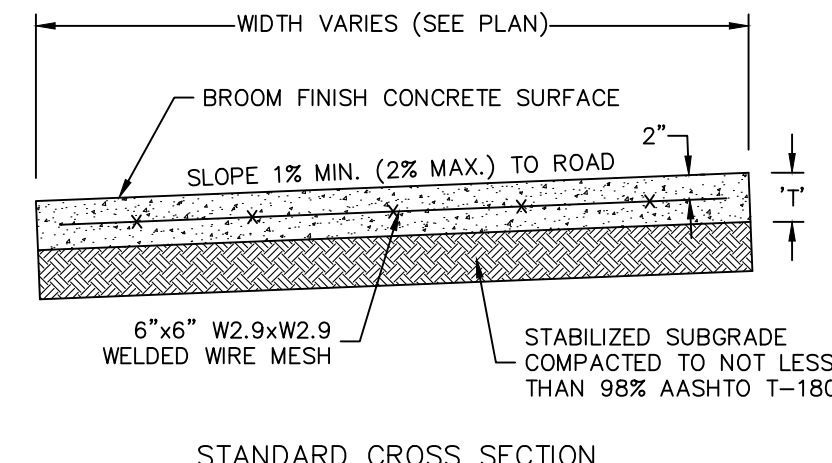
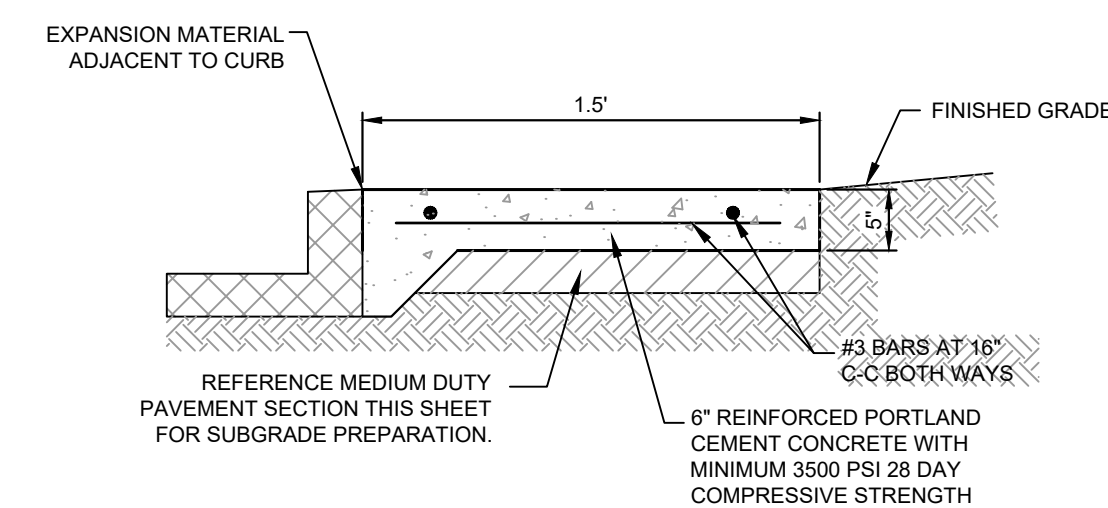


TABLE OF SIDEWALK THICKNESS	
LOCATION	'T'
PEDESTRIAN ONLY AREAS	4"
DRIVEWAYS AND OTHER TRAFFIC AREAS	6"

NOTE: ALL SIDEWALK STREET CROSSINGS MUST MEET THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) COMPLIANCE GUIDE. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.

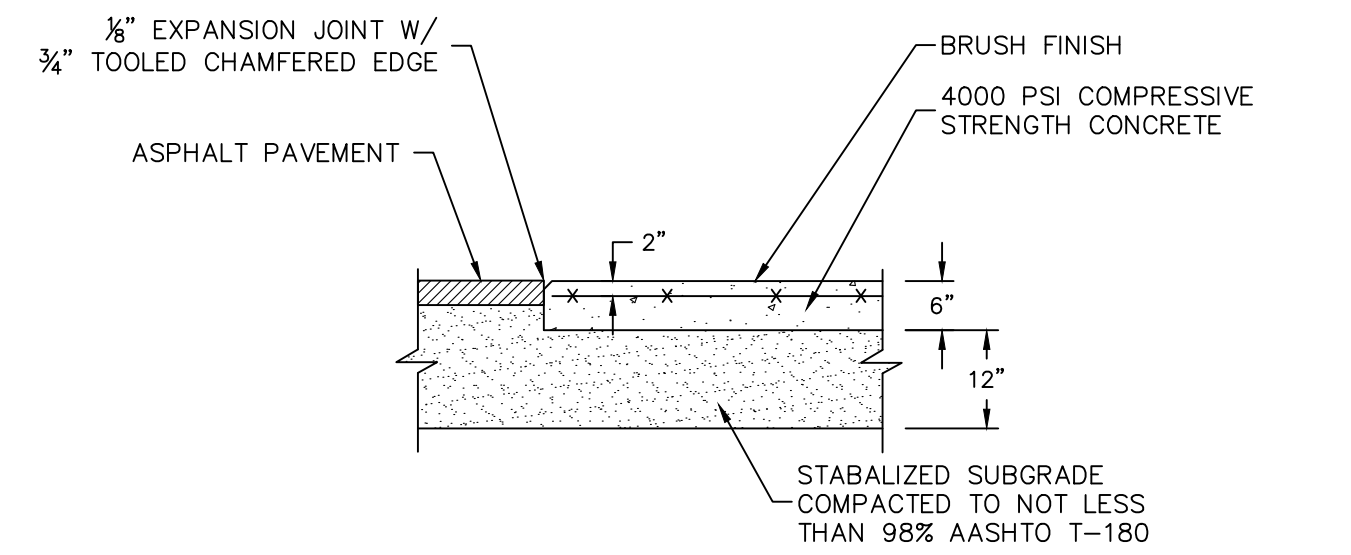
**CONCRETE SIDEWALK**  
N.T.S.



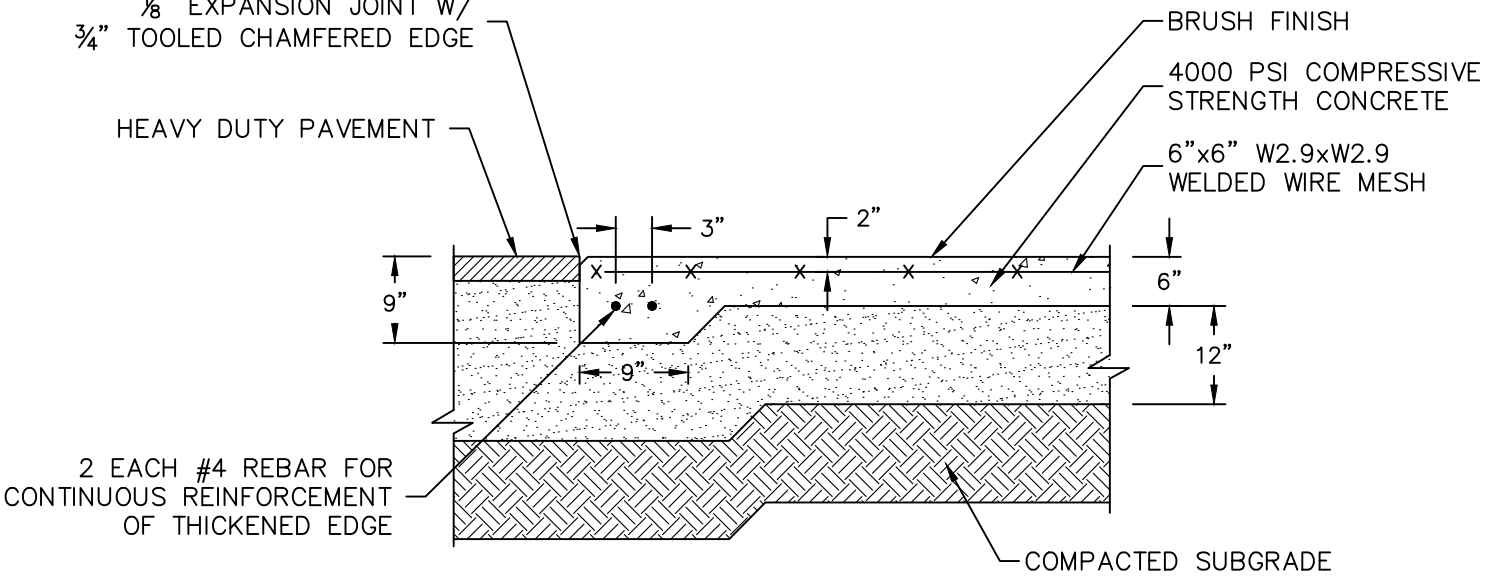
NOTES:  
1. PROVIDE BITUMINOUS EXPANSION MATERIAL WHERE CONCRETE MEETS BACK OF CURB.  
2. SEAL EXPANSION & CONTRACTION JOINTS WITH AN APPROVED TYPE SEALANT.

NOTE: REFER TO GEOTECH REPORT FOR FURTHER INFORMATION.

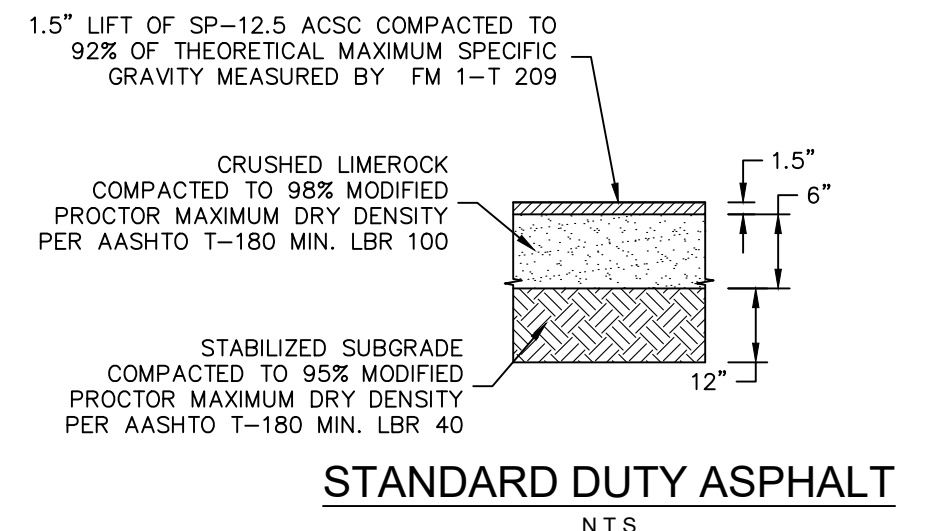
**HEAVY DUTY CONCRETE EDGE DETAIL**  
N.T.S.



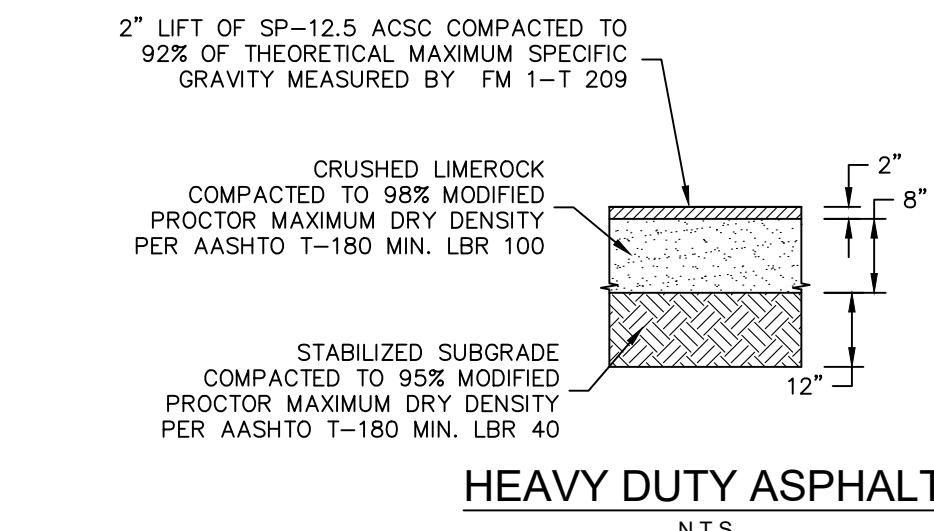
**HEAVY DUTY CONCRETE THICKEND EDGE DETAIL**  
N.T.S.



**HEAVY DUTY CONCRETE THICKEND EDGE DETAIL**  
N.T.S.

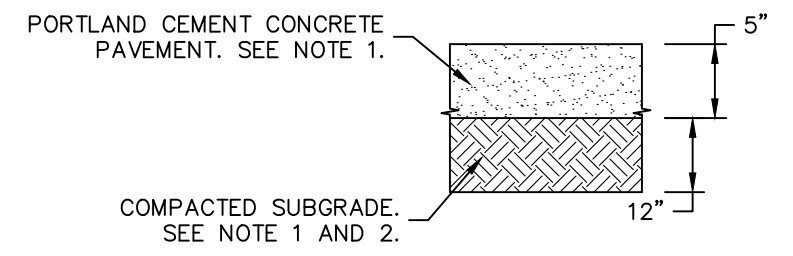


**STANDARD DUTY ASPHALT**  
N.T.S.



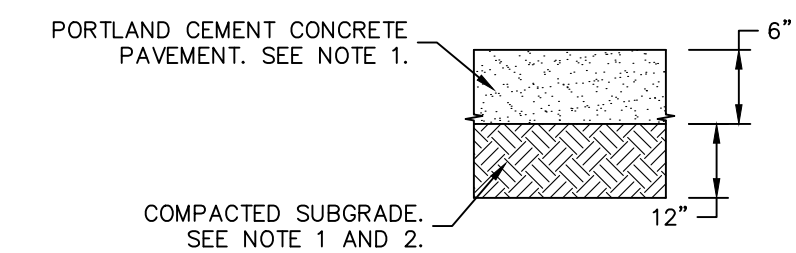
**HEAVY DUTY ASPHALT**  
N.T.S.

NOTE:  
1. PAVEMENT SECTION PROVIDED FROM TERRACON GEOTECH REPORT NO. EG215040.  
2. CONTRACTOR TO REFER TO THE GEOTECHNICAL REPORT FOR SITE WORK SPECIFICATIONS.



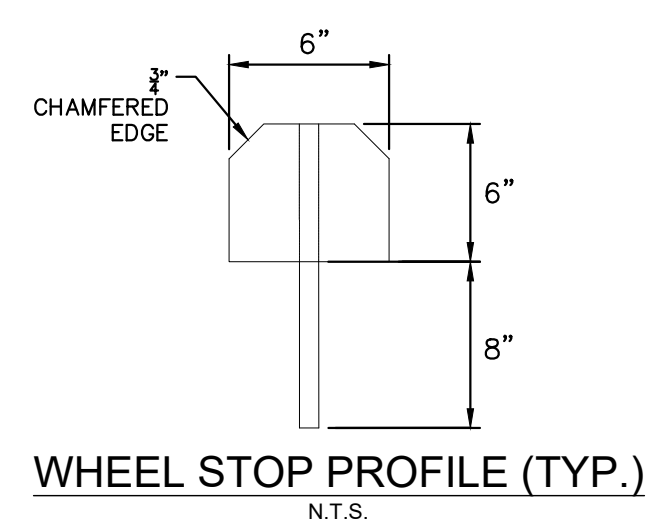
**LIGHT DUTY CONCRETE PAVING**  
N.T.S.

NOTE:  
1. THE PCPP DESIGN THICKNESS IS BASED ON A CONCRETE UNCONFINED STRENGTH OF 4,000 PSI AT 28 DAYS. AIR CONTENT SHOULD BE AT 4.5 +/- 1.5% AND WILL REQUIRE AIR ENTRAINMENT.  
2. UNIFIED SOIL CLASSIFICATION SYSTEM CLASSIFICATION OF SP (WITH LESS THAN 5 PERCENT FINES) IS CONSIDERED FREE DRAINING. THE EXISTING NEAR SURFACE SOILS (SC) WILL NEED TO BE UNDERCUT AND REPLACED WITH FREE-DRAINING SANDY SOIL TO MEET THE "FREE DRAINING" CRITERION.  
3. PAVEMENT SECTION PROVIDED FROM TERRACON GEOTECH REPORT NO. EG215040

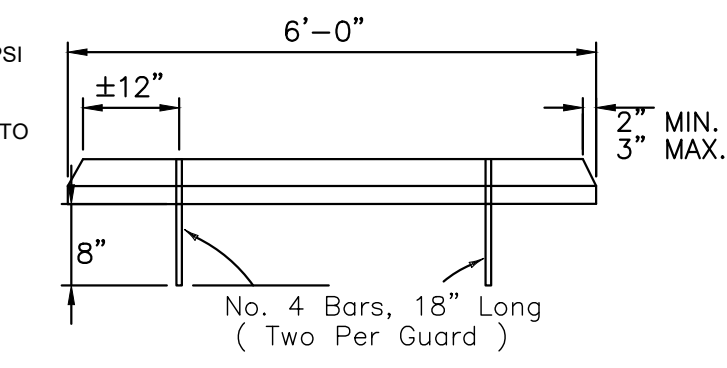


**HEAVY DUTY CONCRETE PAVING**  
N.T.S.

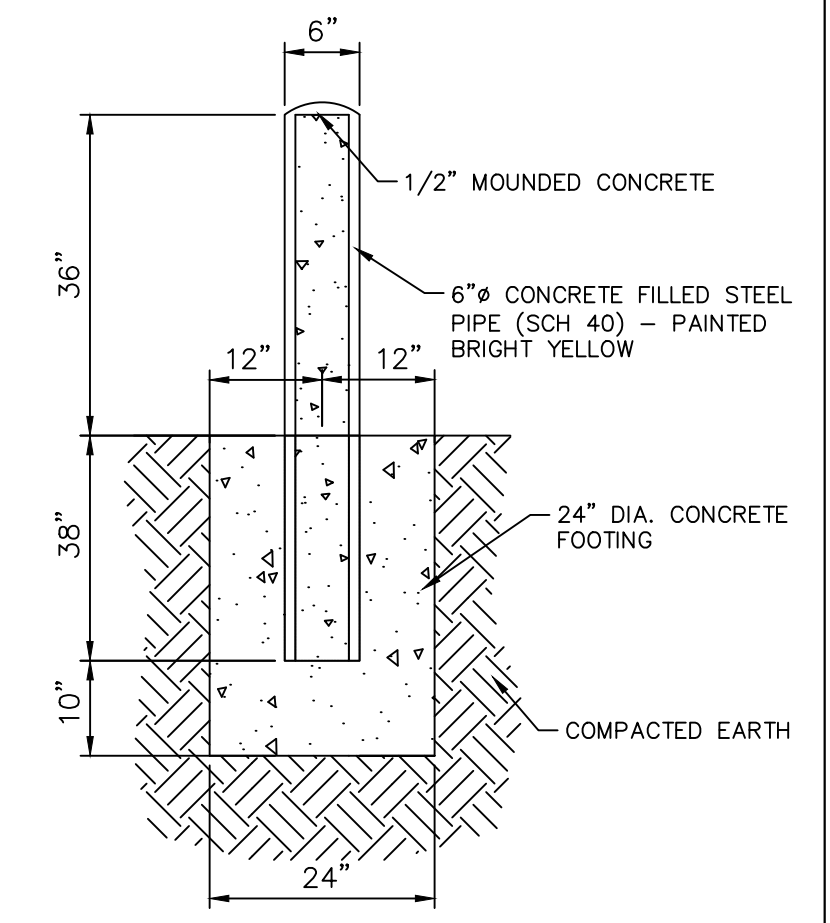
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**WHEEL STOP PROFILE (TYP.)**  
N.T.S.



**WHEEL STOP (FRONT VIEW)**  
N.T.S.

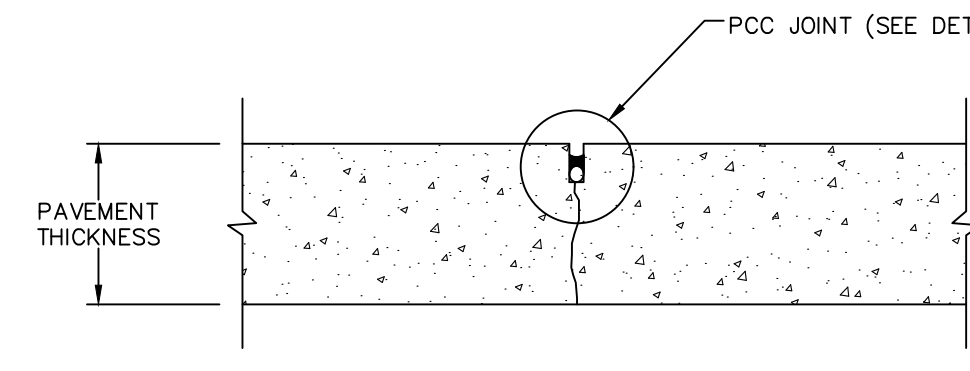


**BOLLARD**  
N.T.S.

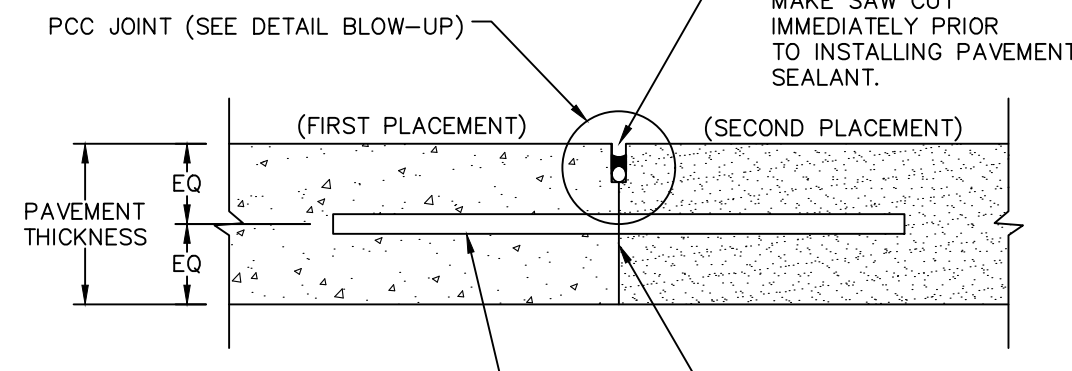


NOTE: SIGNS SHALL HAVE DIAMOND GRADE, ASTM TYPE XI, SHEETING.

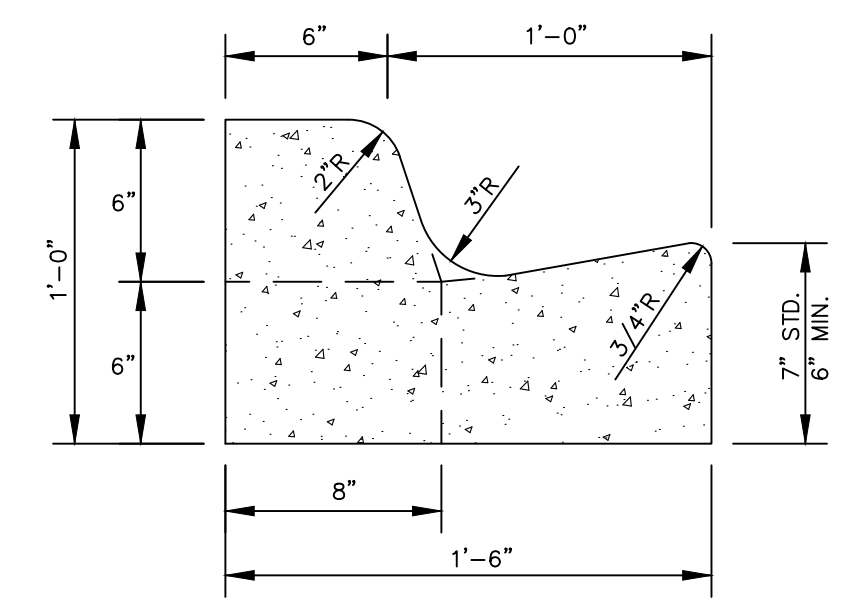
**"CROSS TRAFFIC" PLAQUE**  
N.T.S.



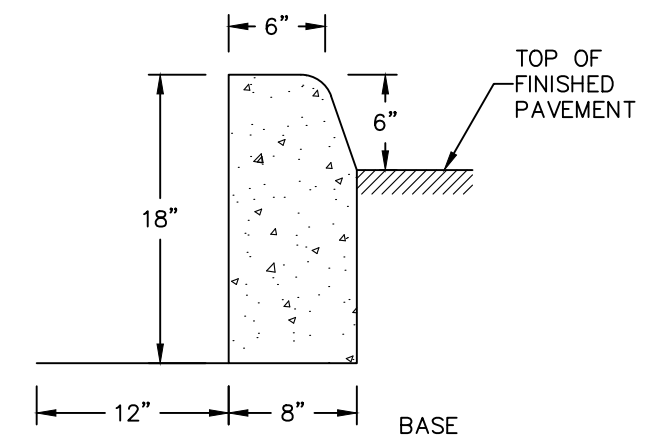
**CONTRACTION JOINT**



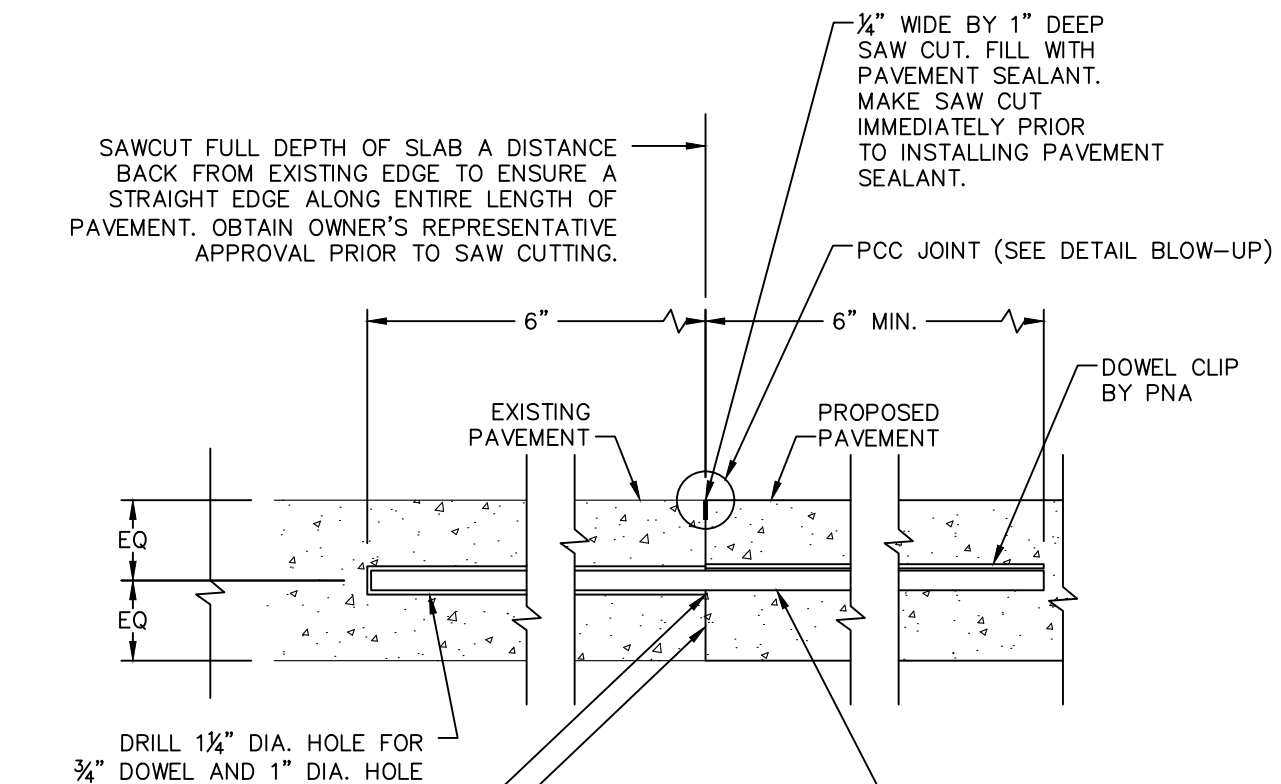
**CONSTRUCTION JOINT**



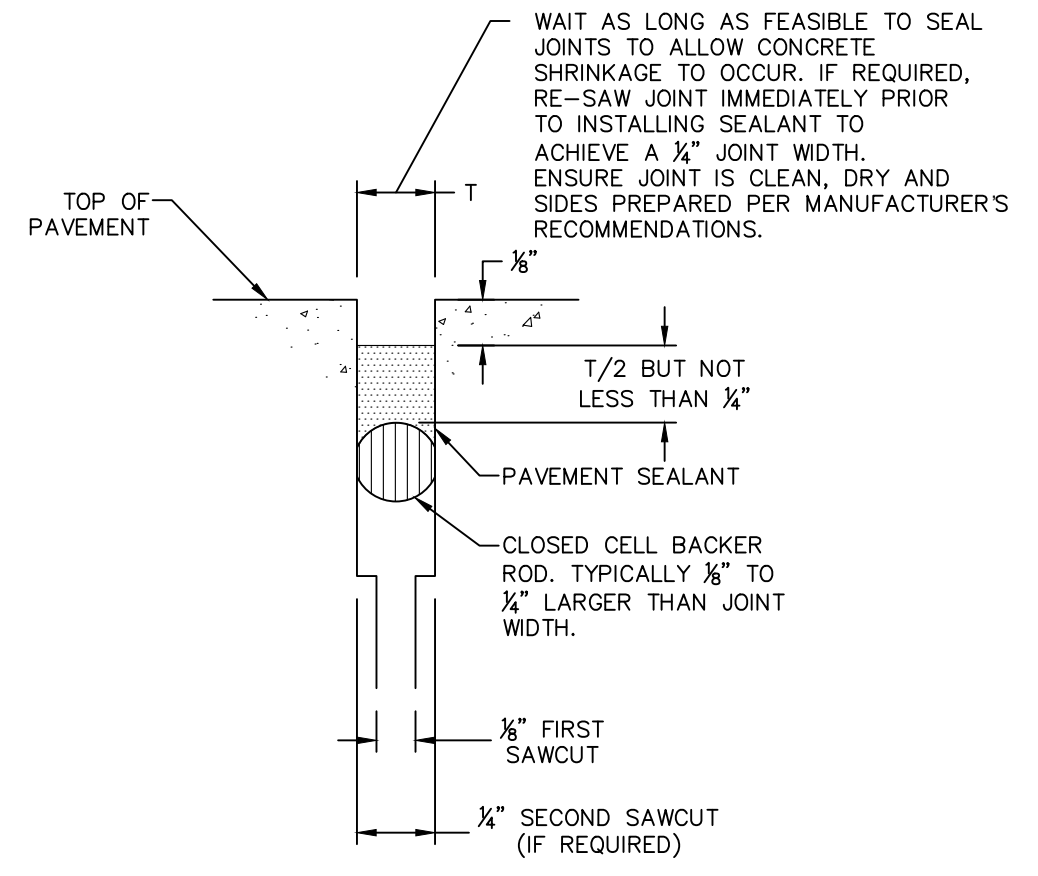
**18" MODIFIED TYPE F CURB & GUTTER DETAIL**  
NOT TO SCALE



**TYPE "D" CURB**  
N.T.S.



**HEAVY DUTY CONCRETE JOINT DETAILS**  
N.T.S.



**PCC JOINT DETAIL BLOW-UP (TYP.)**

NOTES:  
1. ENSURE JOINTS ARE CLEAN AND DRY PRIOR TO THE APPLICATION OF THE JOINT SEALANT.  
2. INSTALL CLOSED CELL BACKER ROD AFTER JOINTS HAVE BEEN CLEANED AND DRIED IN ACCORDANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.  
3. INSTALL BACKER ROD AT CONSISTENT AND UNIFORM DEPTH.  
4. JOINT SEALANT APPLICATION SHALL BE IN STRICT COMPLIANCE WITH SEALANT MANUFACTURER'S REQUIREMENTS.



Restaurant Support Office  
6800 Bishop Road, Plano, TX 75024  
Tele: 972-769-3100 Fax: 972-769-3101

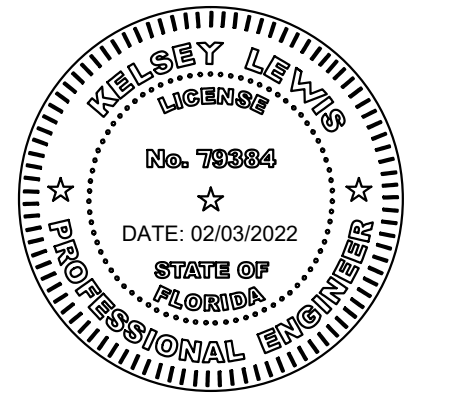
Restaurant:  
**Raising Cane's**  
Restaurant #0734  
1917 West Tennessee St.  
Tallahassee, FL  
P4E-AV [B] M

Designer's Information:  
**CSRS**  
6767 Perkins Road, Suite 200  
Baton Rouge, Louisiana 70808  
Telephone: 225 769-0546  
www.csrsinc.com

Prototype Phase: 2021-1.0 P4E-AV  
Project Issue Date: 02-03-2022  
CSRS Project Manager: JH

FOR REVIEW  
**Kimley»Horn**

2619 CENTENNIAL BLVD, STE 200, TALLAHASSEE, FL 32308  
PHONE: 850-553-3500  
WWW.KIMLEY-HORN.COM REGISTRY No. 696



Sheet Versions:

#	Date	Description

Sheet Title:

**CONSTRUCTION DETAILS**

Sheet Number:

PROJECT DATUM NAVD 88

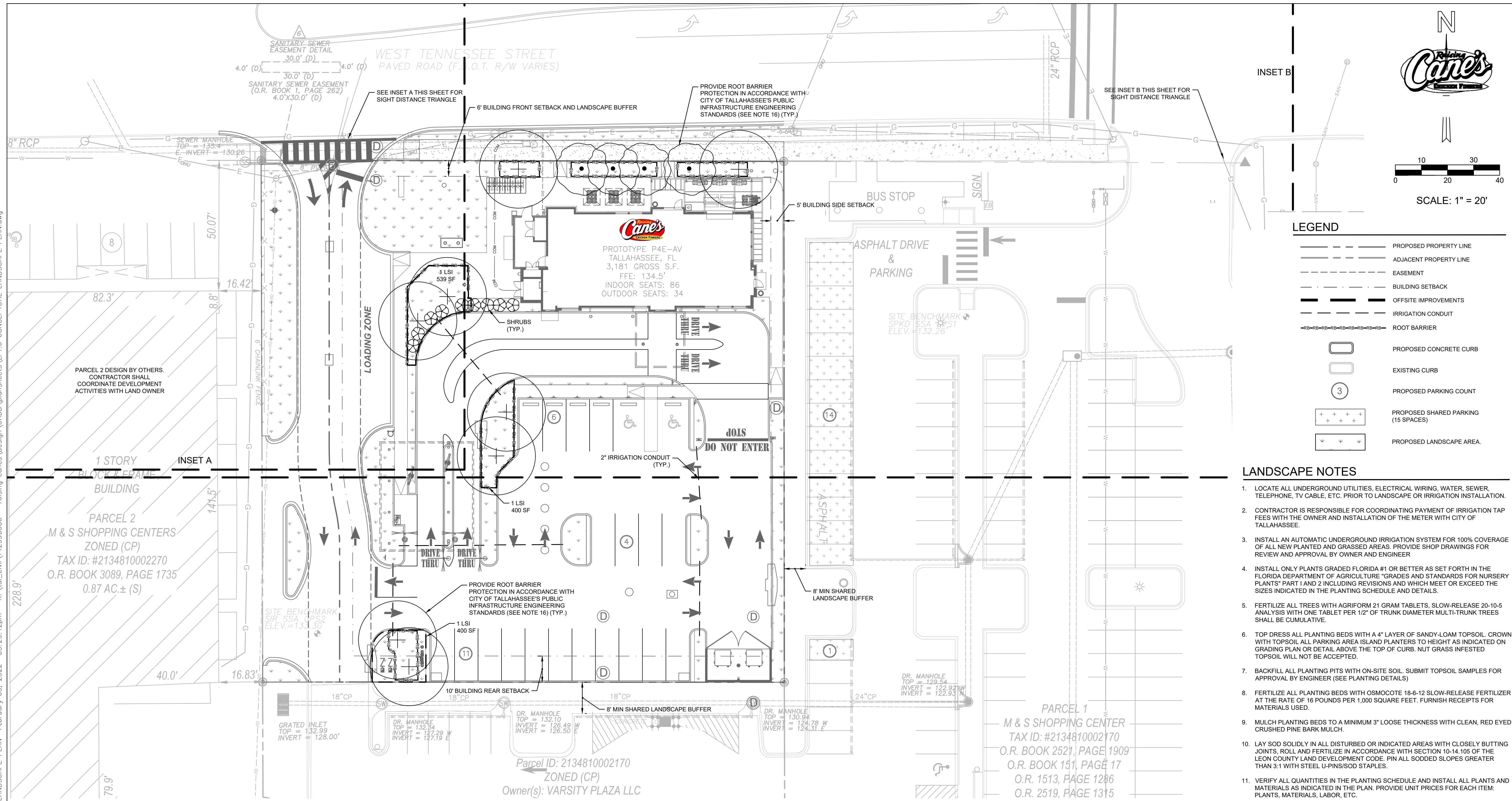
CALL 2 WORKING DAYS BEFORE YOU DIG **811**

IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

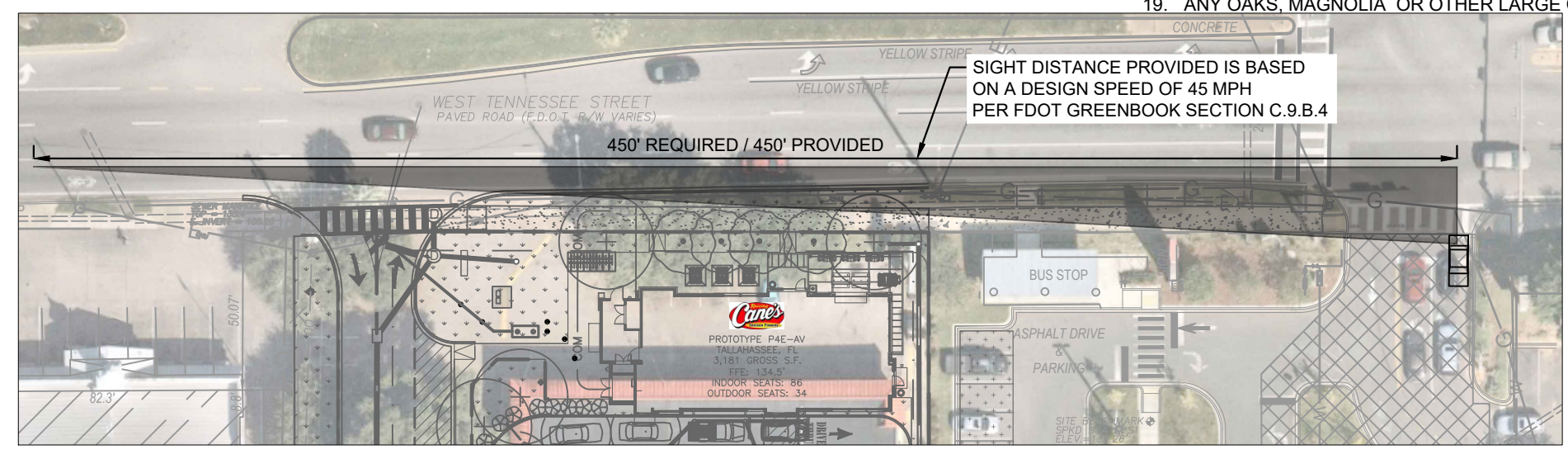
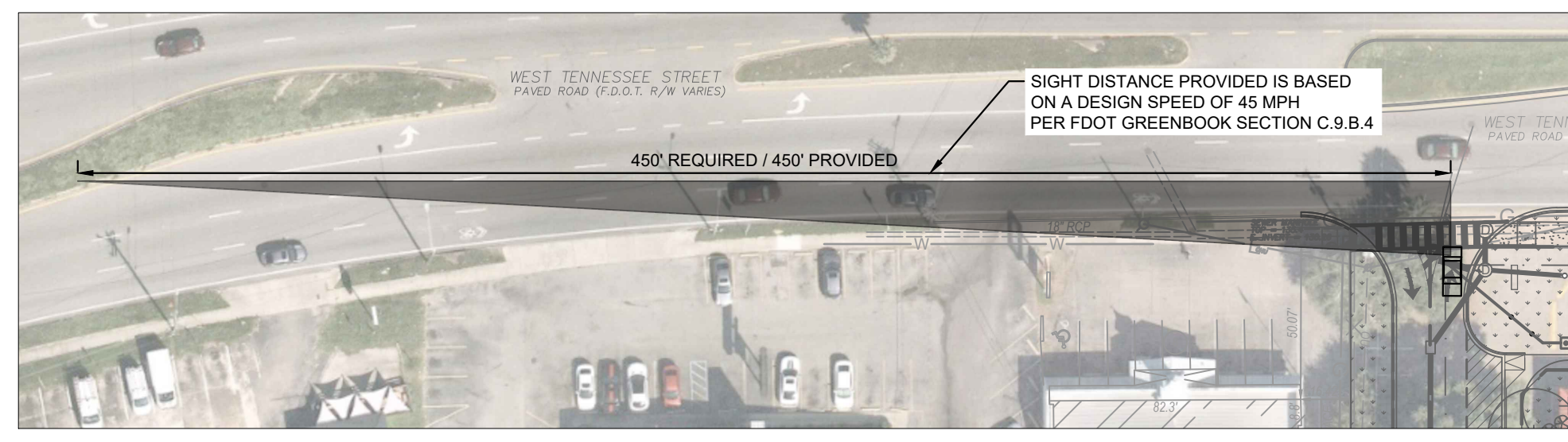
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Plotted By: Clark, Dillon Sheet Set: RAISING CANES - TALLAHASSEE Layout: LP1.0 LANDSCAPE PLAN February 03, 2022 03:29:12pm K:\Vol\_civil\142990600 - raising canes\cadd\plan\sheet\LP1.0 CONCEPTUAL LANDSCAPE PLAN.dwg



**SIGHT DISTANCE NOTES**

- SIGHT DISTANCES WERE CALCULATED USING THE MINIMUM 14.5' SETBACK FROM THE EDGE OF THE TRAVEL WAY.
- BRANCH PRUNINGS, WHERE NEEDED, SHALL COMPLY WITH THE CURRENTLY ADOPTED ANSI A300 STANDARDS. DEADWOOD PRUNING AND BRANCH COLLAR CUTS MAY BE PERFORMED TO RAISE LIMBS IN ORDER TO ACCOMMODATE SAFE TRAFFIC MANEUVERING.
- TREE BRANCHES AND LIMBS SHALL BE PRUNED SO THAT A CLEAR SIGHT WINDOW IS PROVIDED WITH VERTICAL LIMITS OF NOT LESS THAN 5' ABOVE AND 1.5' BELOW THE SIGHT LINE DATUM (3.5' ABOVE THE ROADWAY PAVEMENT) PER FDOT VOLUME 2.



PROJECT DATUM NAVD 88  
 CALL 2 WORKING DAYS BEFORE YOU DIG  
**811**  
 IT'S THE LAW! DIAL 811  
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 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

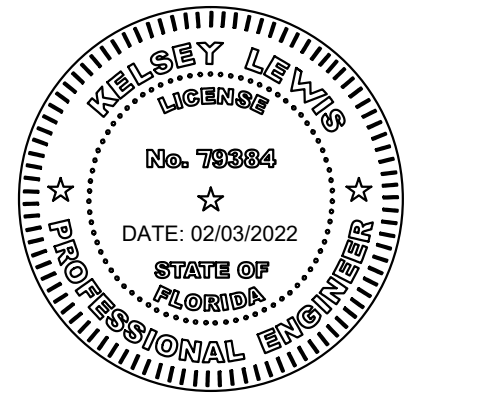
**Raising Cane's**  
 CHICKEN FINGERS  
 Restaurant Support Office  
 6800 Bishop Road, Plano, TX 75024  
 Tele: 972-769-3100 Fax: 972-769-3101

Restaurant:  
**Raising Cane's**  
 Restaurant #0734  
 1917 West Tennessee St.  
 Tallahassee, FL  
 P4E-AV [B] M

Designer's Information:  
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**CONCEPTUAL LANDSCAPE PLAN**

Sheet Number:  
**LP1.0**