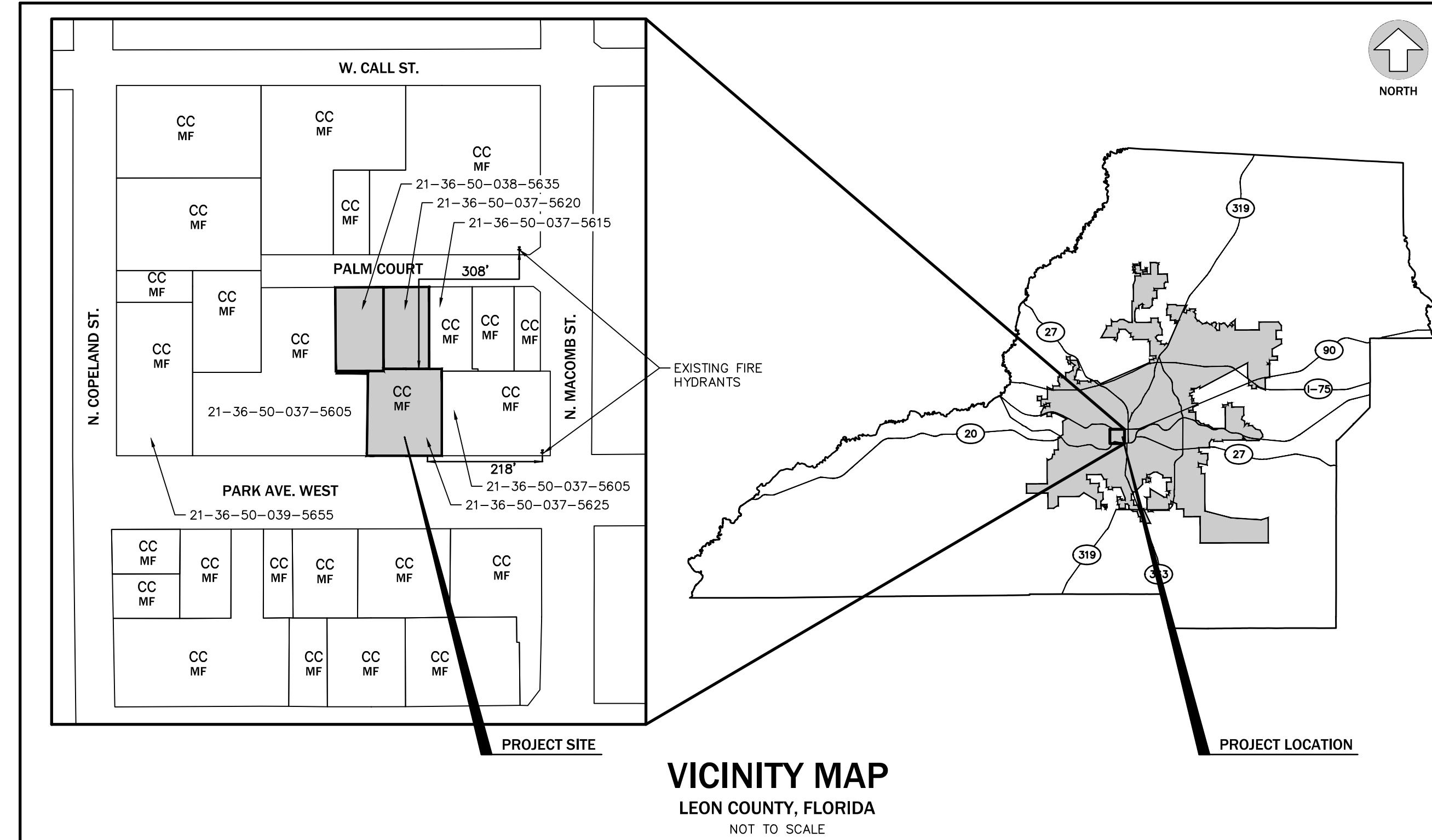


# ALPHA CHI OMEGA SORORITY HOUSE

## TALLAHASSEE, FLORIDA



DEVELOPMENT INFORMATION		
1. PROJECT OWNER:	ALPHA CHI OMEGA NATIONAL HOUSING CORPORATION 5939 CASTLE CREEK PKWY. INDIANAPOLIS, IN 46250	
2. NAME OF PROJECT:	ALPHA CHI OMEGA SORORITY HOUSE	
3. PROJECT DESCRIPTION:	A PROPOSED 2 STORY SORORITY HOUSE WITH 53 RESIDENTIAL BEDS PLUS HOUSE DIRECTOR'S SUITE INCLUDING ASSOCIATED PARKING, DRAINAGE, AND UTILITY IMPROVEMENTS.	
4. PROJECT ADDRESS:	518 W. PARK AVE. TALLAHASSEE, FLORIDA 32301	
5. TAX PARCEL NUMBER:	21-36-50-037-5620, 21-36-50-037-5625 & 21-36-50-038-5635	
6. SECTION/TOWNSHIP/RANGE:	SECTION 36, TOWNSHIP 1N SOUTH, RANGE 1 WEST	
7. ZONING:	CC - CENTRAL CORE, DOWNTOWN OVERLAY, FSU TRANSITION AREA	
8. FUTURE LAND USE DESIGNATION:	CC - CENTRAL CORE	
9.	THE PROJECT IS NOT PROPOSING AN INCREASE OF IMPERVIOUS AREA, AND THEREFORE, IS EXEMPT OF THE STORMWATER REQUIREMENT, AND EXISTING DRAINAGE PATTERNS ARE MAINTAINED.	
10.	NO SPECIAL FIRE PROTECTION CONCERNS ARE PROPOSED ON THIS BUILDING ADDITION. THE BUILDING SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE.	
11.	THE PROJECT SITE WILL MEET ALL NPDES CRITERIA DURING AND AFTER CONSTRUCTION.	
12.	FIRE HYDRANTS AND STABILIZED SURFACES MUST BE IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES ON SITE.	
13.	IN-BUILDING PUBLIC SAFETY RADIO ENHANCEMENT SYSTEMS SHALL BE PROVIDED IN ALL BUILDINGS WHERE MINIMUM RADIO SIGNAL STRENGTH FOR FIRE DEPARTMENT COMMUNICATIONS IS NOT ACHIEVED AT A LEVEL DETERMINED BY THE AHJ.	
14.	THE PROPOSED BUILDING SHALL COMPLY WITH THE CURRENT EDITION OF THE FLORIDA BUILDING CODE.	
15.	UNITY OF TITLE FOR PARCELS 21-36-50-037-5620, 21-36-50-037-5625 & 21-36-50-038-5635 MUST OCCUR PRIOR TO ISSUANCE OF THE BUILDING PERMIT.	



### LEGAL DESCRIPTION

PER OFFICIAL RECORD BOOK 2671, PAGE 1768 & 1770:  
ALL THOSE PARTS OF LOTS NUMBERED 37 AND 38 IN THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE, DESCRIBED AS FOLLOWS, TO-WIT:

BEGIN AT A POINT 57 FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT NUMBER 37, IN THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE, AND FROM THENCE RUN NORTH 137 FEET; FROM THENCE RUN WEST 92 FEET; FROM THENCE RUN SOUTH 3 1/2 FEET; FROM THENCE RUN WEST 22 FEET; THENCE RUN SOUTH 133 1/2 FEET, TO THE SOUTH LINE OF SAID LOT NUMBERED 38 IN THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE; AND FROM THENCE RUN EAST ALONG THE SOUTH LINE OF SAID LOTS 38 AND 37, 114 FEET, TO THE POINT OF BEGINNING; SAID LOTS LYING AND SITUATE IN THE COUNTY OF LEON, IN THE STATE OF FLORIDA.

PER OFFICIAL RECORD BOOK 1432, PAGE 533:  
THAT PART OF TALLAHASSEE CITY LOTS NUMBERED THIRTY-SEVEN (37) AND THIRTY-EIGHT (38) IN THE NORTHWEST ADDITION TO SAID CITY ACCORDING TO MAPS AND PLANS OF SAID CITY RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF LEON COUNTY, FLORIDA, DESCRIBED AS FOLLOWS TO-WIT: BEGIN AT A POINT ON PARK AVENUE THIRTY-SEVEN (37) FEET EAST OF THE SOUTHWEST CORNER OF SAID LOT NUMBERED THIRTY-SEVEN (37); FROM THENCE RUN NORTH A DISTANCE OF ONE HUNDRED AND THIRTY-SEVEN (137) FEET TO A POINT WHICH IS THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREBY CONVEYED; FROM THENCE RUN NORTH ONE HUNDRED AND THIRTY (130) FEET; THENCE WEST SEVENTY-TWO (72) FEET; THENCE SOUTH ONE HUNDRED AND THIRTY (130) FEET; THENCE EAST SEVENTY-TWO (72) FEET TO THE SAID POINT OF BEGINNING.

PER DEED BOOK 259, PAGE 503:  
THAT PART OF LOT 38 IN THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE, DESCRIBED AS FOLLOWS; TO WIT:

COMMENCE AT A POINT 25 FEET SOUTH AND 35 FEET WEST OF THE NORTHEAST CORNER OF LOT 38, WHICH IS THE POINT OF BEGINNING; RUN THENCE SOUTH 133 1/2 FEET, THENCE WEST 76 FEET, THENCE NORTH 133 1/2 FEET, THENCE EAST 76 FEET, TO THE POINT OF BEGINNING.

5' STRIP PER UNITY OF TITLE RECORDED AT OFFICIAL RECORD BOOK 2755, PAGE 2129:  
COMMENCE AT AN IRON PIPE (1") MARKING THE SOUTHWEST CORNER OF LOT 38, OF THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE, AS RECORDED IN PLAT BOOK 1, PAGE 12 OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, THENCE RUN NORTH 89 DEGREES 58 MINUTES 00 SECONDS EAST ALONG THE NORTHERLY RIGHT OF WAY OF PARK AVENUE A DISTANCE OF 171.00 FEET, THENCE CONTINUE NORTH 89 DEGREES 58 MINUTES 00 SECONDS EAST ALONG SAID NORTHERLY RIGHT OF WAY A DISTANCE OF 113.96 FEET, THENCE NORTH 01 DEGREES 29 MINUTES 03 SECONDS EAST 141.44 FEET, THENCE NORTH 89 DEGREES 28 MINUTES 03 SECONDS WEST 15.00 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING THENCE CONTINUE NORTH 89 DEGREES 28 MINUTES 03 SECONDS WEST 5.00 FEET, THENCE NORTH 00 DEGREES 08 MINUTES 30 SECONDS EAST 130.96 FEET TO THE SOUTHERLY BOUNDARY OF PALM COURT; THENCE RUN NORTH 89 DEGREES 58 MINUTES 44 SECONDS EAST 5.00 FEET, THENCE SOUTH 00 DEGREES 08 MINUTES 30 SECONDS WEST 131.02 FEET TO THE POINT OF BEGINNING.

BEING DESCRIBED IN AGGREGATE BY SURVEY (OCTOBER 25, 2019) RECOGNIZING PROPERTY LINES BY MUTUAL AGREEMENT AS FOLLOWS:

COMMENCE AT A PREVIOUSLY FOUND OLD IRON PIPE IN 2002 MARKING THE HISTORIC SOUTHWEST CORNER OF LOT 38, OF THE NORTHWEST ADDITION TO THE CITY OF TALLAHASSEE, PER PLAT BOOK 1, PAGE 12, OF THE PUBLIC RECORDS OF LEON COUNTY, FLORIDA, THENCE RUN NORTH 89 DEGREES 49 MINUTES 17 SECONDS EAST A DISTANCE OF 170.95 FEET TO A PINCHED IRON PIPE (1"), THENCE RUN NORTH 00 DEGREES 50 MINUTES 10 SECONDS EAST A DISTANCE OF 7.31 FEET TO THE CURRENTLY ACCEPTED PLATTED BOUNDARY FOR THE NORTH RIGHT OF WAY OF PARK AVENUE AND THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING THENCE CONTINUE NORTH 00 DEGREES 50 MINUTES 10 SECONDS EAST A DISTANCE OF 125.47 FEET TO AN IRON PIPE (1"), THENCE RUN NORTH 89 DEGREES 03 MINUTES 55 SECONDS WEST A DISTANCE OF 49.28 FEET, THENCE RUN NORTH 00 DEGREES 04 MINUTES 54 SECONDS WEST A DISTANCE OF 138.69 FEET, THENCE RUN NORTH 89 DEGREES 55 MINUTES 12 SECONDS EAST A DISTANCE OF 150.06 FEET, THENCE RUN SOUTH 00 DEGREES 07 MINUTES 26 SECONDS WEST A DISTANCE OF 131.17 FEET, THENCE RUN NORTH 89 DEGREES 59 MINUTES 01 SECOND EAST A DISTANCE OF 15.17 FEET TO AN IRON ROD (#6590), THENCE RUN SOUTH 01 DEGREE 20 MINUTES 31 SECONDS WEST A DISTANCE OF 133.78 FEET, THENCE RUN SOUTH 89 DEGREES 52 MINUTES 18 SECONDS WEST A DISTANCE OF 114.18 FEET TO THE POINT OF BEGINNING, CONTAINING 0.81 ACRES, MORE OR LESS.

CONTACT INFORMATION		
1. PROPERTY OWNERS:	ALPHA CHI OMEGA NATIONAL HOUSING CORPORATION 5939 CASTLE CREEK PKWY. INDIANAPOLIS, IN 46250	
3. CONSULTANT ENGINEER:	eda consultants inc. 720 S.W. 2nd AVE., SOUTH TOWER, SUITE 300 GAINESVILLE, FL 32601 (352) 373-3541 CONTACT: CLAUDIA VEGA, P.E.	
6. SURVEYOR:	A.D. PLATT AND ASSOCIATES 3712 CARRINGTON PLACE TALLAHASSEE, FL 32303 CONTACT: ALAN PLATT	
7. ARCHITECT:	TREANOR HC 55 ROSWELL ST., SUITE 200 ALPHARETTA, GA 30009 CONTACT: ANDY ANDERSON	
8. PUBLIC WORKS RIGHT OF WAY MANAGEMENT REVIEW:	TYLER HARRISON (850) 891-8476	
9. WATER AND SEWER SERVICE PLAN:	JOSHUA LOGAN joshua.logan@talgov.com	

**LEGEND:**

ZONING:	FUTURE LAND USE:
CC - CENTRAL CORE	MF - MULTI-FAMILY RESIDENTIAL

SITE AREA					
#	DESCRIPTION	EXISTING SQUARE FOOTAGE (S.F.)	PROPOSED SQUARE FOOTAGE (S.F.)	ACREAGE (AC.)	PERCENTAGE (%)
1.	TOTAL SITE AREA:	34,500	34,500	0.79	100%
2.	BUILDING COVERAGE:	7,977	9,750	0.22	28.26%
3.	PAVEMENT AND SIDEWALK AREA:	17,153	15,673	0.4	45.43%
4.	TOTAL IMPERVIOUS AREA:	25,130.00	25,423.00	0.58	73.69%
5.	OPEN AREA: (GREEN SPACE)	9,370.00	9,077.00	0.21	26.31%
6.	VEHICULAR USE AREA:	14,196	13,456	0.31	39.00%
7.	LANDSCAPE AREA:	9,370	8,077	0.21	26.31%

PARKING CALCULATIONS				
#	DESCRIPTION	CRITERIA	REQUIRED	PROVIDED
1.	VEHICULAR PARKING	1 PARKING SPACE PER BEDROOM	1 SPACE PER 53 = 53 SPACES	37 INCLUDING 2 HANDICAP SPACES
2.	BICYCLE PARKING	10% OF REQUIRED NUMBER OF VEHICLE PARKING	53 SPACES X .10 = 5 SPACES	8 SPACES 3 RACKS AND 2 INTERIOR SPACES

BUILDING INFORMATION	
BUILDING HEIGHT:	42' 1.25"
SPRINKLERED:	YES
OCCUPANCY CLASS:	A-2, A-3, B, R-2
CONSTRUCTION TYPE:	IIB
NUMBER OF STORIES:	3
BUILDING AREA:	
1ST FLOOR	9,750 S.F.
2ND FLOOR	9,750 S.F.
TOTAL BUILDING AREA UNDER ROOF:	19,500 S.F.
BED CALCULATIONS:	
SINGLE X 4	4 BEDS
DOUBLE X 24	48 BEDS
TOTAL BEDS:	52 BEDS
DENSITY (UNITS/ACRE):	35.44

UTILITIES TO BE PROVIDED AND PROVIDER		
1. ELECTRIC:	CITY OF TALLAHASSEE	
2. NATURAL GAS:	CITY OF TALLAHASSEE	
3. POTABLE WATER:	CITY OF TALLAHASSEE	
4. WASTE WATER:	CITY OF TALLAHASSEE	
5. CABLE:	COMCAST	

DRAWING INDEX	
Sheet Number	Sheet Title
C100	COVER SHEET
C110	GENERAL NOTES AND LEGENDS
C120	DEMOLITION PLAN
C200	DIMENSION PLAN
C300	PAVING, GRADING, AND DRAINAGE PLAN
C310	PAVING, GRADING, AND DRAINAGE DETAILS
C320	STORMWATER POLLUTION PREVENTION PLAN
C400	UTILITY PLAN
C500	TRUCK SIMULATION EXHIBIT
A	ARCHITECTURAL PLANS (BY OTHERS)
L	LANDSCAPE PLANS (BY OTHERS)
S	BOUNDARY AND TOPOGRAPHIC SURVEY (BY OTHERS)

No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title: ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

Sheet title: COVER SHEET

Designed: CSV Sheet No: C100

Drawn: JAB

Checked: DJM

Date: 03/15/23



**EXISTING SYMBOLS & ABBREVIATIONS**

- Δ - CENTRAL ANGLE
- AC - ACRES ±
- CH - CHORD
- D.B. - DEED BOOK
- FCM - FOUND CONCRETE MONUMENT
- FIR - FOUND IRON ROD
- (6/8") UNLESS NOTED
- F.I.R.M. - FLOOD INSURANCE RATE MAP
- FP - FOUND PIPE
- FPFP - FOUND FINISHED IRON PIPE
- (4" X 4") UNLESS NOTED
- FN - FOUND NAIL AND CAP
- L - ARC LENGTH
- FRIC - FOUND ROD WITH CAP (ILLEGIBLE)
- PO - POWER POLE
- SM - SEWER MANHOLE
- INVT - INVERT
- OH - OVERHEAD UTILITY
- GA - GUY ANCHOR
- FFE - FINISHED FLOOR ELEVATION
- BFW - BACK FLOW VALVE
- WM - WATER METER
- WV - WATER VALVE

- O.R. - OFFICIAL RECORD BOOK
- P.C. - PAGE
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- R - RADIUS OR RANGE
- R/W - RIGHT OF WAY
- R - RANGE
- SEC. - SECTION
- S/S - SET 3/8" IRON ROD/CAP
- SNC - SET NAIL AND CAP
- UNREC. - UNRECORDED
- T - TOWNSHIP
- LB. - LICENSED BUSINESS

**PROPOSED UTILITY SYMBOLS**

- WM - WATER MAIN, PROPOSED
- WM - WATER MAIN, EXISTING
- WW - WASTEWATER GRAVITY MAIN, PROPOSED
- PLUG END AND CAP
- BLOW-OFF ASSEMBLY
- GATE VALVE & BOX
- BUTTERFLY VALVE
- PLUG VALVE
- SWING CHECK VALVE
- BACK FLOW PREVENTER
- REDUCED PRESSURE ZONE BFP
- DOUBLE CHECK BFP
- DUAL CHECK VALVE
- AIR RELEASE VALVE
- REDUCER FITTING
- PRESSURE REGULATOR
- POST INDICATOR VALVE
- CLEAN OUT OR ROOF DRAIN LATERAL
- FITTING W/ THRUST BLOCK
- FIRE HYDRANT W/ THRUST BLOCK
- FIRE HYDRANT ASSEMBLY
- POTABLE WATER METER
- SINGLE SERVICE WATER METER
- DUAL SERVICE WATER METER
- GANG WATER METER ASSEMBLY
- ELECTRIC TRANSFORMER
- RECLAIMED WATER METER ASSEMBLY
- RCW - RECLAIMED WATER MAIN, PROPOSED
- RCW - PLUG END AND CAP
- RCW - BLOW-OFF ASSEMBLY
- RCW - GATE VALVE & BOX
- RCW - REDUCER FITTING
- FM - WASTEWATER (PRESSURE) MAIN, PROPOSED
- SS - SANITARY SEWER MAIN, PROPOSED
- SS - SANITARY SEWER MAIN, EXISTING
- SS - SANITARY SEWER MANHOLE, PROPOSED
- SS - SANITARY SEWER MANHOLE, EXISTING
- SS - SANITARY SEWER PLUG
- PLUG VALVE
- SEWER LATERAL, SINGLE SERVICE
- GATE VALVE
- CHECK VALVE
- A. R. - AIR RELEASE VALVE

**LEGEND**

- TREE BARRICADE
- SILT FENCE
- (TBR) - EXISTING FEATURES TO BE REMOVED (TBR)
- LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
- LIMITS OF ASPHALT PAVEMENT
- LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
- p120 - EXISTING TREE TO REMAIN
- ✕ p120 - EXISTING TREE TO BE REMOVED
- 180.00 - EXISTING SPOT ELEVATION
- 180.00 - PROPOSED SPOT ELEVATION
- 183.25 - PROPOSED CONTOUR ELEVATION
- 183 - EXISTING CONTOUR ELEVATION

**GENERAL NOTES**

- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES, AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.
- PRIOR TO THE INITIATION OF SITE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ANY EXISTING UTILITIES INCLUDING GAS, WATER, ELECTRIC, CABLE TV, COMMUNICATIONS, SANITARY SEWERS AND STORM DRAINAGE SYSTEMS, ON AND/OR ADJACENT TO THE SITE. REMOVE OR CAP AS NECESSARY. CONTACT ENGINEER OF RECORD IMMEDIATELY WITH ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED, BY THE CONTRACTOR OR SUB-CONTRACTORS, AS CALLED FOR IN THESE CONTRACT DOCUMENTS.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES AND THE ENGINEER. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION/REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ON ALL PRECAST AND MANUFACTURED ITEMS, TO THE OWNER'S ENGINEER FOR REVIEW. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- SAFETY:
  - DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
  - LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA.
  - THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND CONSTRUCTION PERSONNEL FROM HAZARDS WITHIN THE PROJECT LIMITS.
  - ALL TRAFFIC CONTROL, MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
  - ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
  - IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

**CONSTRUCTION NOTES**

- SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES; AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS INDEXES 600 THROUGH 685 (LATEST EDITIONS).
- SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
- ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.
- DISTURBED AREA WITHIN THE R-0-W WILL BE COMPACTED TO 98% OF MAXIMUM DENSITY AND SODED.
- STOCKPILING OF MATERIAL IS NOT ALLOWED ON ROADWAYS OR SIDEWALKS. ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALKS ARE TO BE SWEEP DAILY AS PART OF DAILY CLEANUP.
- ANY PORTION OF ROADWAYS OR SIDEWALKS THAT SUSTAIN EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF APPLICABLE AGENCIES, SHALL BE REPAIRED AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THAT PARTICULAR AGENCY.
- CONSTRUCTION MUST BE PER THE APPROVED SITE PLAN OF THE DRC (OR EQUIVALENT). DEVIATIONS IN ROADWAY, UTILITY OR DRAINAGE CONSTRUCTION WILL REQUIRE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER OR THE DIRECTOR OF PUBLIC SERVICES (OR EQUIVALENT). NOTE: SIGNIFICANT CHANGES FROM THE DRC APPROVED PLAN MAY REQUIRE THE OWNER/DEVELOPER TO SUBMIT A REVISED SITE PLAN FOR REVIEW THROUGH THE DRC AND MAY CAUSE PROJECT DELAYS.
- OFF-SITE OR ROADWAY R-0-W CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CONDITIONS OF THE APPROVED R-0-W PERMIT(S). A COPY OF THE APPROVED R-0-W PERMIT MUST BE KEPT ON-SITE AND READILY AVAILABLE DURING ALL CONSTRUCTION ACTIVITIES WITHIN THE R-0-W.
- DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS/HER PERSONNEL.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY. BOTH PAPER AND AUTOCAD FILES SHALL BE PROVIDED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER AND ENGINEER OF RECORD FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. BOTH PAPER AND AUTOCAD SHALL BE PROVIDED.

**EROSION CONTROL NOTES**

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS REFERENCED BY THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER RUNOFF.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM DRAINS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STABILIZATION, SEDIMENT BASINS, ETC.) AS NEEDED FOR EACH STAGE OF SITE WORK / GRADING.
- NO GRADING, CUTTING, OR FILLING SHALL COMMENCE UNTIL SUCH TIME AS APPROPRIATE EROSION AND SEDIMENTATION CONTROL DEVICES HAVE BEEN INSTALLED BETWEEN ALL DISTURBED AREAS AND WATER BODIES, WATERCOURSES OR WETLANDS AND ANY CONVEYANCES SUCH AS DRAINAGE DITCHES, STORM DRAINS, AND INLETS.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRECEDING ANY DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. THE CONTRACTOR SHALL INSTALL ALL EROSION AND PREVENTION STRUCTURES SHOWN ON THE PLANS AT A MINIMUM AND IN FULL CONFORMANCE WITH ALL APPLICABLE WATER MANAGEMENT DISTRICT PERMITS AND REGULATIONS.
- ALL CONTROL STRUCTURE AND OUTFALL CULVERT INSTALLATIONS SHALL BE PROTECTED WITH SEDIMENT BARRIERS AT A MINIMUM.
- ALL DISTURBED AREAS (ABOVE NORMAL WATER LEVELS) UNLESS OTHERWISE NOTED HEREIN SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING UNLESS OTHERWISE NOTED. ALL SLOPES STEEPER THAN 4:1 SHALL BE SODED.

**PAVING, GRADING, AND DRAINAGE NOTES**

- TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
- THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DE-WATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SO, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR TO COORDINATE WITH OWNER REGARDING TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION IMPROVEMENTS TO FOLLOW.
- SITE GRADING, PAVING AND DRAINAGE MATERIALS AND CONSTRUCTION SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- IMMEDIATELY AT ONSET OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES CRITICAL TO COMPLETING THE PROJECT (INCLUDING WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV) AND SHALL EVALUATE POTENTIAL CONFLICTS. ALL SUCH CONFLICTS SHALL BE REPORTED TO ENGINEER/OWNER IMMEDIATELY UPON DISCOVERY.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE AND ROPE OFF CONSERVATION AREA LINES. OWNER RESERVES THE RIGHTS TO CHECK THE STAKING AND ROPEING AND REQUIRE TO BE RELOCATED IF NECESSARY. IT SHALL REMAIN IN PLACE UNTIL ADJACENT CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL BE EXTREMELY CAUTIOUS WHEN WORKING NEAR TREES WHICH ARE TO BE SAVED, WHETHER SHOWN IN THE PLANS OR DESIGNATED IN THE FIELD.
- ALL SIGNAGE, PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND FHWA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REGULATORY SIGNS (STOP, ETC.) SHALL BE PAID FOR BY THE CONTRACTOR AND IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.
- BLUE REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED OPPOSITE FIRE HYDRANTS IN THE CENTER OF THE NEAREST TRAVELED LANE TO MARK THEIR LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENTS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. SHOULD AREAS OF POOR DRAINAGE BE OBSERVED, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES, SO THAT RECOMMENDATIONS FOR CORRECTION MAY BE MADE.
- PROPOSED AND EXISTING SIDEWALKS SHALL BE RAMPED FLUSH WITH PAVEMENT. RAMPS SHALL NOT EXCEED SLOPES OF 12 HORIZONTAL TO 1 VERTICAL.
- FINISHED FLOOR ELEVATIONS ARE MINIMUM ELEVATIONS REQUIRED TO SATISFY DRAINAGE AND/OR 100-FLOODPLAIN REQUIREMENTS. PAD ELEVATIONS, IMMEDIATELY OUTSIDE OF BUILDING WALLS, SHALL BE NO MORE THAN 8 INCHES BELOW THE FINISHED FLOOR ELEVATIONS SHOWN.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND DISPOSING ALL WASTE MATERIALS CONSISTENT WITH ALL RULES AND REGULATIONS APPLICABLE TO THE SPECIFIC MATERIAL FOUND. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS, ETC.) IS TO BE EXCAVATED AND REPLACED WITH SUITABLE/COMPACTED SOILS, AS DIRECTED BY THE OWNER, THE OWNERS ENGINEERS, OR OWNERS SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT, SIDEWALK, OR GROUND SURFACE GRADES, UNLESS OTHERWISE NOTED.
- CURBING SHALL BE PLACED AT THE EDGES OF ALL PAVEMENT, UNLESS OTHERWISE NOTED. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL FDOT TYPE CURB AND GUTTERS CALLED FOR IN THESE PLANS.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL AND/OR BETTER CONDITION THAN EXISTING PRIOR TO START OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATION AT PROPERTY LINES.
- SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, SHALL BE REPLACED UPON COMPLETION OF WORK BY A REGISTERED LAND SURVEYOR. ALL SURVEY COSTS WILL BE CONTRACTORS RESPONSIBILITY.
- FINAL GRADES SHOWN INCLUDE SOD HEIGHT. ALL AREAS SHALL BE GRADED TO DRAIN AWAY FROM THE BUILDINGS.
- IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS OTHERWISE SPECIFIED OR APPROVED.
- ALL CONCRETE CURBS, SIDEWALKS, INLET TOPS, ETC. SHALL BE 3000 PSI MINIMUM, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE SOILS REPORT. UPON COMPLETION OF WORK THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER AND OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN-PLACE MATERIALS AS REQUIRED BY THESE PLANS. THE VARIOUS AGENCIES AND PERMIT CONDITIONS, SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING.
- THE STORM DRAINAGE PIPING SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE RE-INSPECTED BY THE OWNER'S ENGINEER PRIOR TO APPROVAL FOR CERTIFICATE OF OCCUPANCY PURPOSES. THE CONTRACTOR MAY BE REQUIRED TO RE-CLEAN PIPES AND INLETS FOR THESE PURPOSES.



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No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 5132  
Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title: ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

Sheet title: GENERAL NOTES AND LEGENDS

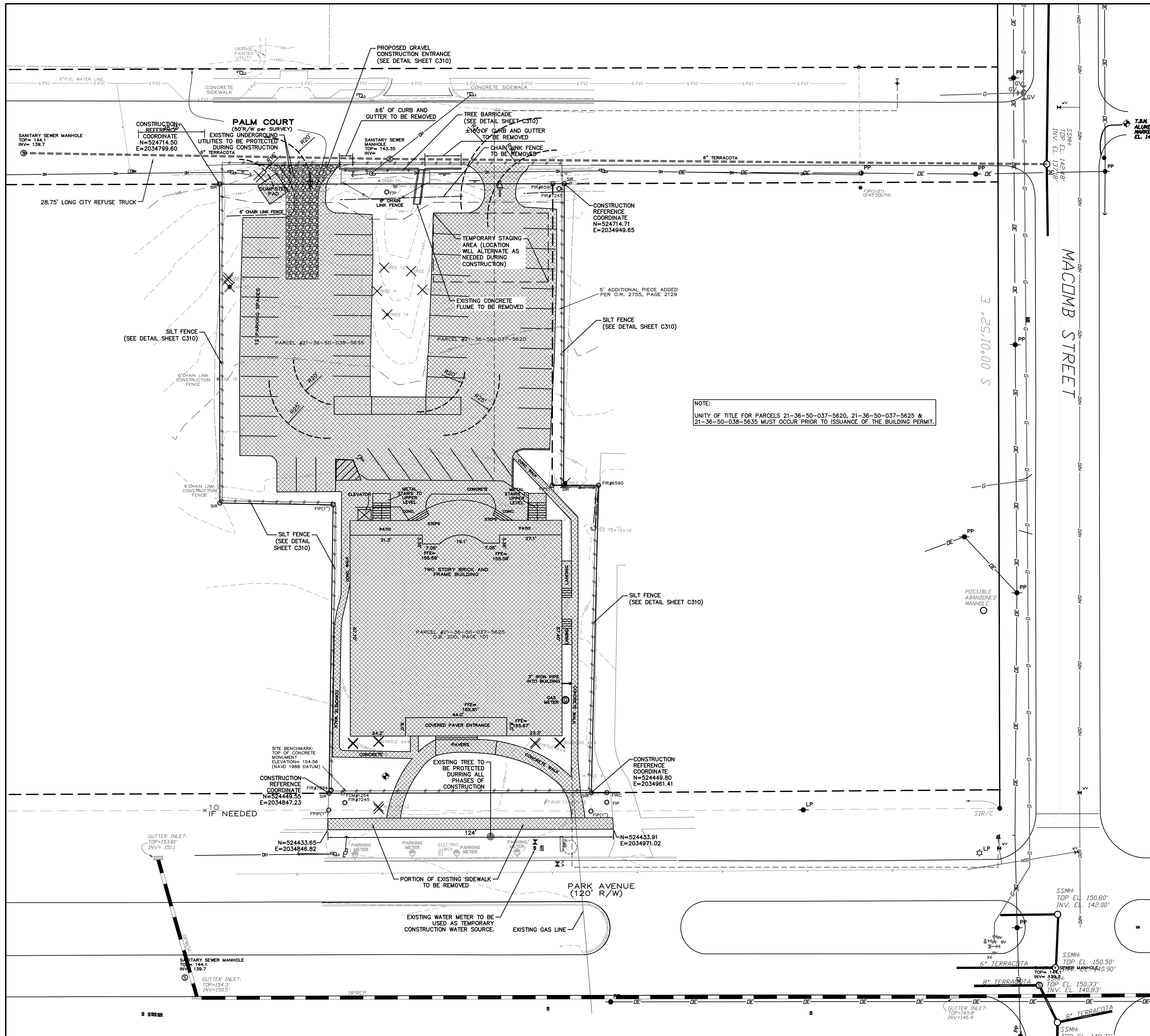
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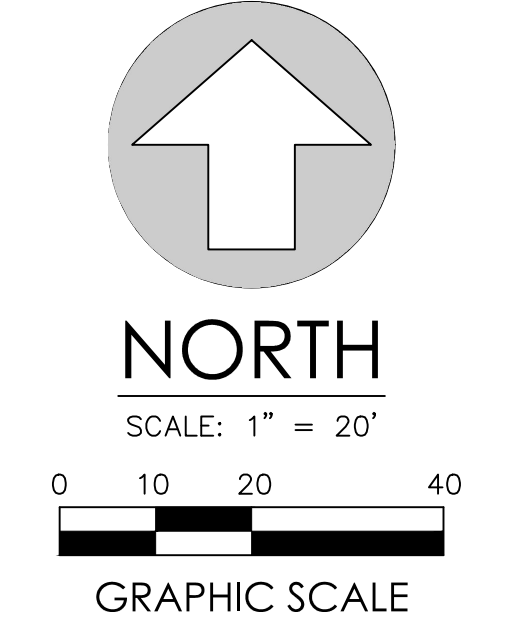
NOTE:  
 UNITY OF TITLE FOR PARCELS 21-36-50-037-5620, 21-36-50-037-5625 & 21-36-50-038-5635 MUST OCCUR PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

**DEMOLITION NOTES**

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN FOR DEMOLITION / PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
- CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. CLOSURE OF THESE FACILITIES MAY REQUIRE A MAINTENANCE OF TRAFFIC PLAN PREPARED BY A REGISTERED PROFESSIONAL AT THE CONTRACTORS EXPENSE.
- PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.
- LOCATE EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR THE TERMINATION, CAPPING-OFF AND REMOVAL OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITY SERVICES UNLESS DIRECTED TO OTHERWISE.
- EROSION CONTROLS ARE TO BE INSTALLED AND INSPECTED PRIOR TO BEGINNING DEMOLITION WORK.
- IN AREAS WHERE PROPOSED CURBING IS TO BE PLACED, THE ASPHALT PAVEMENT SHALL BE REMOVED TO THE FACE OF CURB TO ALLOW PLACEMENT OF 6" STANDARD CONCRETE CURBING.
- IN AREAS OF PROPOSED LANDSCAPE AREA THE PAVEMENT, LIMEROCK BASE, AND 12" OF THE STABILIZED SUBGRADE SHALL BE REMOVED. COORDINATE WITH LANDSCAPE ARCHITECT TO DETERMINE IF ADDITIONAL REMOVAL IS REQUIRED TO MAKE AREA SUITABLE FOR LANDSCAPE PURPOSES. THE REMOVED LIMEROCK BASE SHALL NOT BE USED IN THE BASE FOR THE NEW PAVEMENT (PER FDOT SECTION 200), BUT THE REMOVED BASE CAN BE USED IN THE STABILIZATION OF SUBGRADE. SEE GRADING PLAN FOR BACKFILL REQUIREMENTS.
- ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDER'S SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FILL OF PH 5.5 - 6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- SEE DIMENSION PLAN FOR DIMENSIONING OF PROPOSED LANDSCAPE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AS SHOWN IN THE UTILITY PLAN. ANY EXISTING UTILITIES TO BE REMOVED SHALL BE COORDINATED WITH THE ASSOCIATED UTILITY COMPANY, AND PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- SEE ELECTRICAL AND IRRIGATION PLANS FOR COORDINATION OF PAVEMENT CUTS FOR ASSOCIATED CONDUITS.
- CONTRACTOR SHALL REQUEST A PERMANENT DISCONNECT OF THE EXISTING ELECTRICAL SERVICE AND METER REMOVAL FROM THE UTILITY AGENCY PRIOR TO DEMOLITION.

**LEGEND**

- SILT FENCE
- TREE BARRICADE
- EXISTING FEATURES TO BE REMOVED (TBR)
- LIMITS OF EXISTING ASPHALT PAVEMENT, CONCRETE AND/OR BUILDING TO BE REMOVED
- EXISTING TREE TO BE REMOVED



No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
 Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title:

ALPHA CHI OMEGA  
 SORORITY HOUSE  
 TALLAHASSEE, FLORIDA

Sheet title:  
 DEMOLITION PLAN

Designed: CSV Sheet No.:

Drawn: JAB

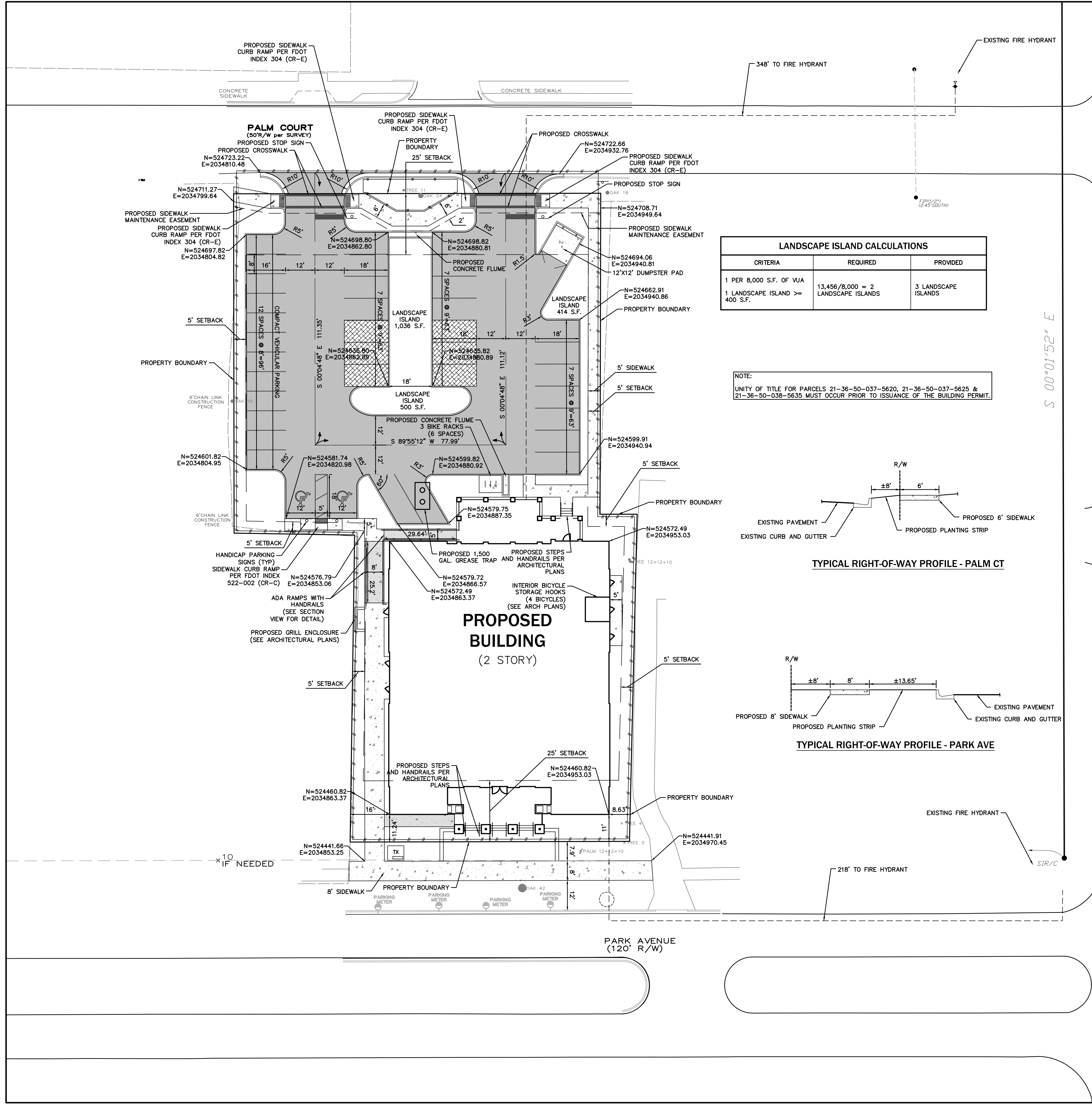
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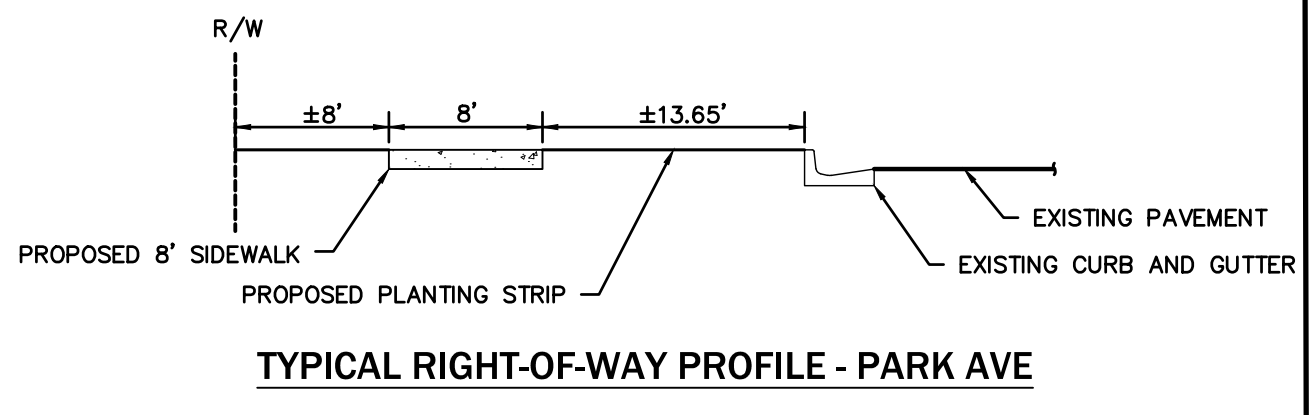
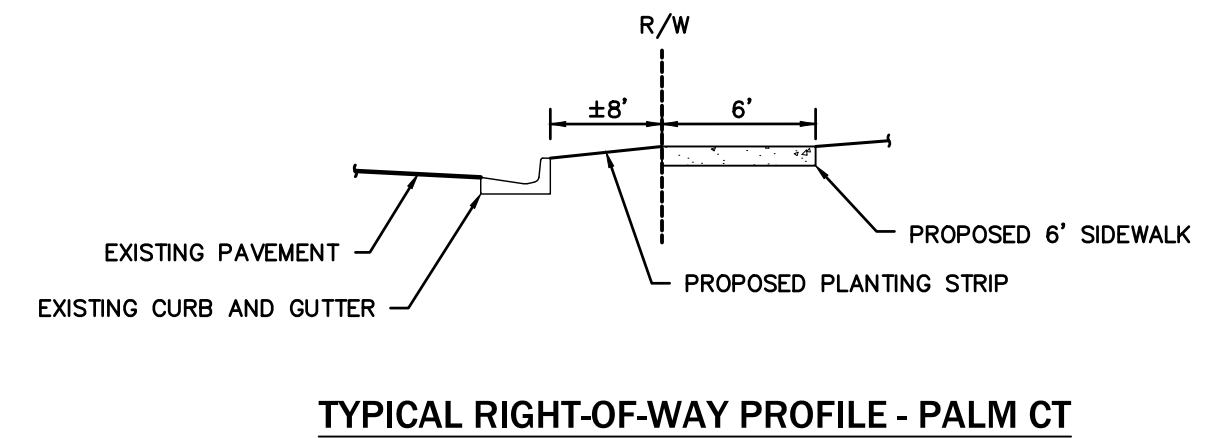
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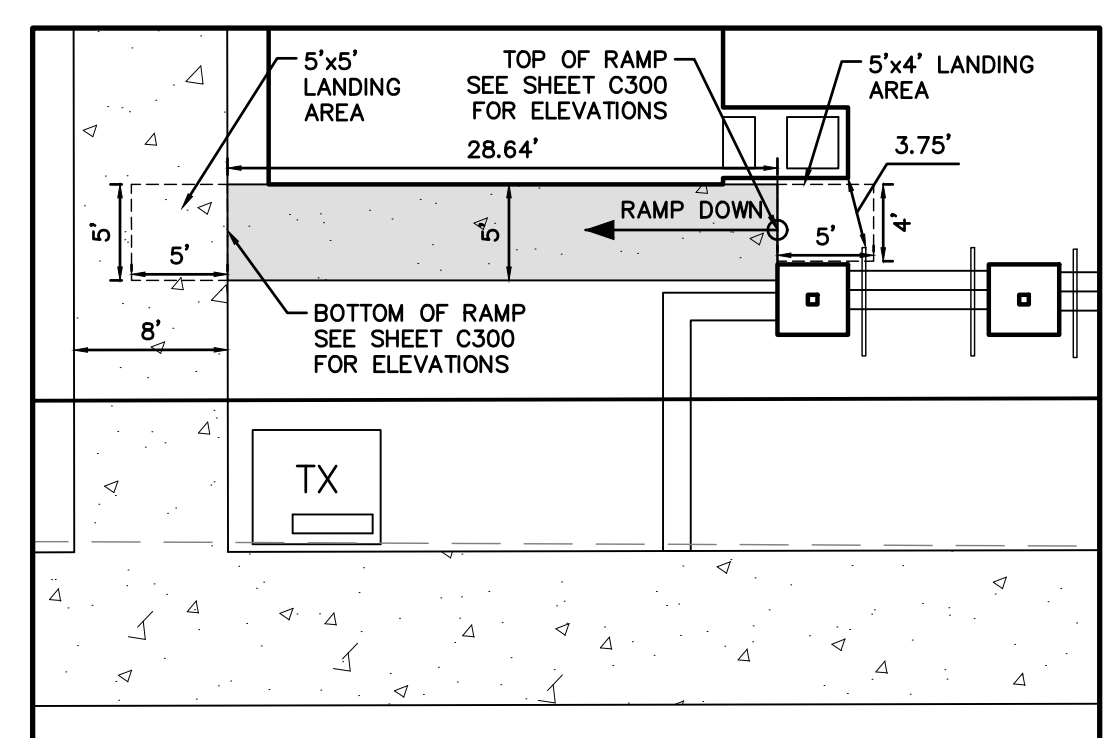
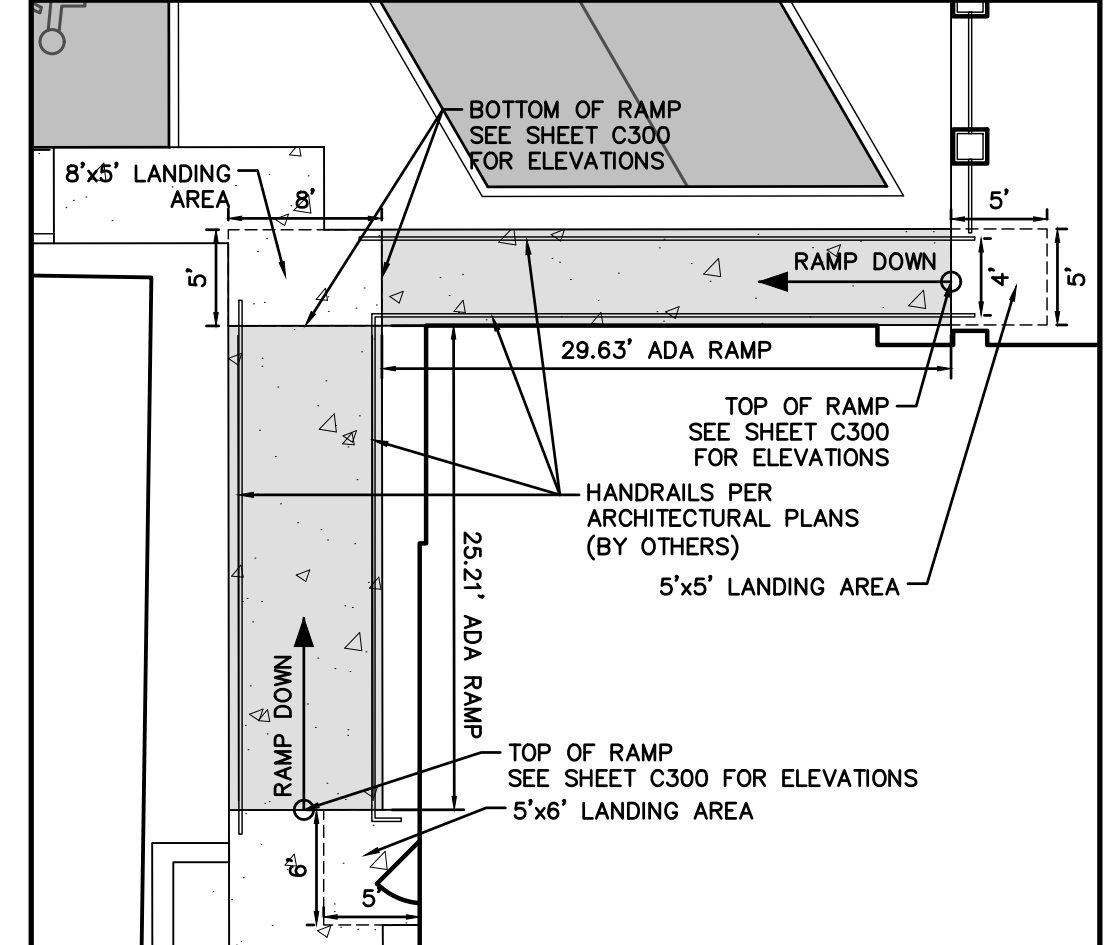
**LANDSCAPE ISLAND CALCULATIONS**

CRITERIA	REQUIRED	PROVIDED
1 PER 8,000 S.F. OF VUA	13,456/8,000 = 2	3 LANDSCAPE ISLANDS
1 LANDSCAPE ISLAND >= 400 S.F.		

NOTE:  
 UNITY OF TITLE FOR PARCELS 21-36-50-037-5620, 21-36-50-037-5625 & 21-36-50-038-5635 MUST OCCUR PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

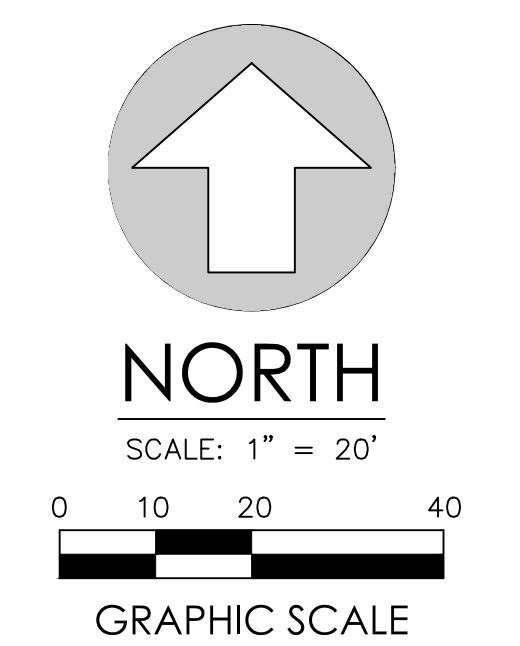


- GENERAL NOTES**
- ALL PARKING LOT DIMENSIONS AND RADII SHOWN ARE MEASURED FROM FACE OF CURB AND/OR THE EDGE OF PAVEMENT IF THERE IS NOT CURB PROPOSED. ALL RADIAL PARKING IS 9' MIN. WIDTH AT NARROWEST POINT.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL EXISTING UTILITIES AND PROTECTION OF SAME DURING CONSTRUCTION.
  - ELECTRIC SERVICE TO BE COORDINATED WITH ELECTRIC ENGINEERING DEPARTMENT.
  - SIDEWALKS WILL BE CONNECTED TO BUILDING ENTRANCE. COORDINATE LOCATIONS WITH ARCHITECT.
  - PLEASE SEE ARCHITECTURAL PLANS (BY OTHERS) FOR HANDRAIL DETAILS.
  - THE REQUIRED WIDTH OF FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES PER NFPA 1, 18.2.4.11, SEVENTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
  - ALL CONSTRUCTION WORK WITHIN THE CITY OF TALLAHASSEE RIGHT-OF-WAY REQUIRES A PUBLIC WORKS RIGHT-OF-WAY MANAGEMENT PERMIT. CONTACT TYLER HARRISON @ (850) 891-8476 TO OBTAIN THE PERMIT PRIOR TO EMO PERMIT ISSUANCE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT FDOT DESIGN STANDARDS.
  - SECTION 10-284.2(A)(4) - STORIES MAY NOT EXCEED 14 FEET IN HEIGHT FROM FINISHED FLOOR TO FINISHED CEILING, EXCEPT FOR A FIRST FLOOR COMMERCIAL FUNCTION, WHICH MUST BE A MINIMUM OF 12 FEET WITH A MAXIMUM OF 25 FEET.
  - SECTION 10-284.2(A)(7) - OUTDOOR SPACE, PORCHES, STOODS, BALCONIES, AND TERRACES, SHALL BE DESIGNED AS USABLE SPACE, MEANING THE AREA SHALL BE A MINIMUM 4 FEET IN WIDTH AND DEPTH.
  - SECTION 10-284.2(A)(9) - FENCING. FENCES ERRECTED AROUND A RESIDENTIAL PROPERTY SHOULD BE LOCATED EITHER EVEN WITH THE BUILDING FAÇADE OR BEHIND THE FIRST BUILDING OF THE PRINCIPAL FRONTAGE, PERPENDICULAR TO PEDESTRIAN WAYS, SUCH THAT PEDESTRIANS HAVE CONVENIENT AND DIRECT ACCESS TO THE STREET SIDEWALK, AND THE PROPERTY MAINTAINS MORE CONNECTION TO THE STREETScape. FOR SECONDARY FRONTAGES, THE FENCE SHOULD PROVIDE AT LEAST ONE PEDESTRIAN ACCESS POINT PER BUILDING FACING THE SECONDARY FRONTAGE.
  - SECTION 10-427 - SITE LIGHTING STANDARDS. ALL CONDITIONS SHALL BE MET.
  - ARCHITECT TO PROVIDE BUILDING OPENING CALCULATIONS, HANDRAIL DETAILS, AND SITE STEP DETAILS AT TIME OF THE BUILDING PERMIT APPLICATION.



**LEGEND**

	SILT FENCE
	TREE BARRICADE
	LIMITS OF ASPHALT PAVEMENT
	LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
	LIMITS OF PEROUS CONCRETE
	EXISTING TREE TO REMAIN



No.	Date	Comment

Professional Engineer of Record:  
 Claudia S. Vega, P.E. 51532  
 Engineer Certificate No.

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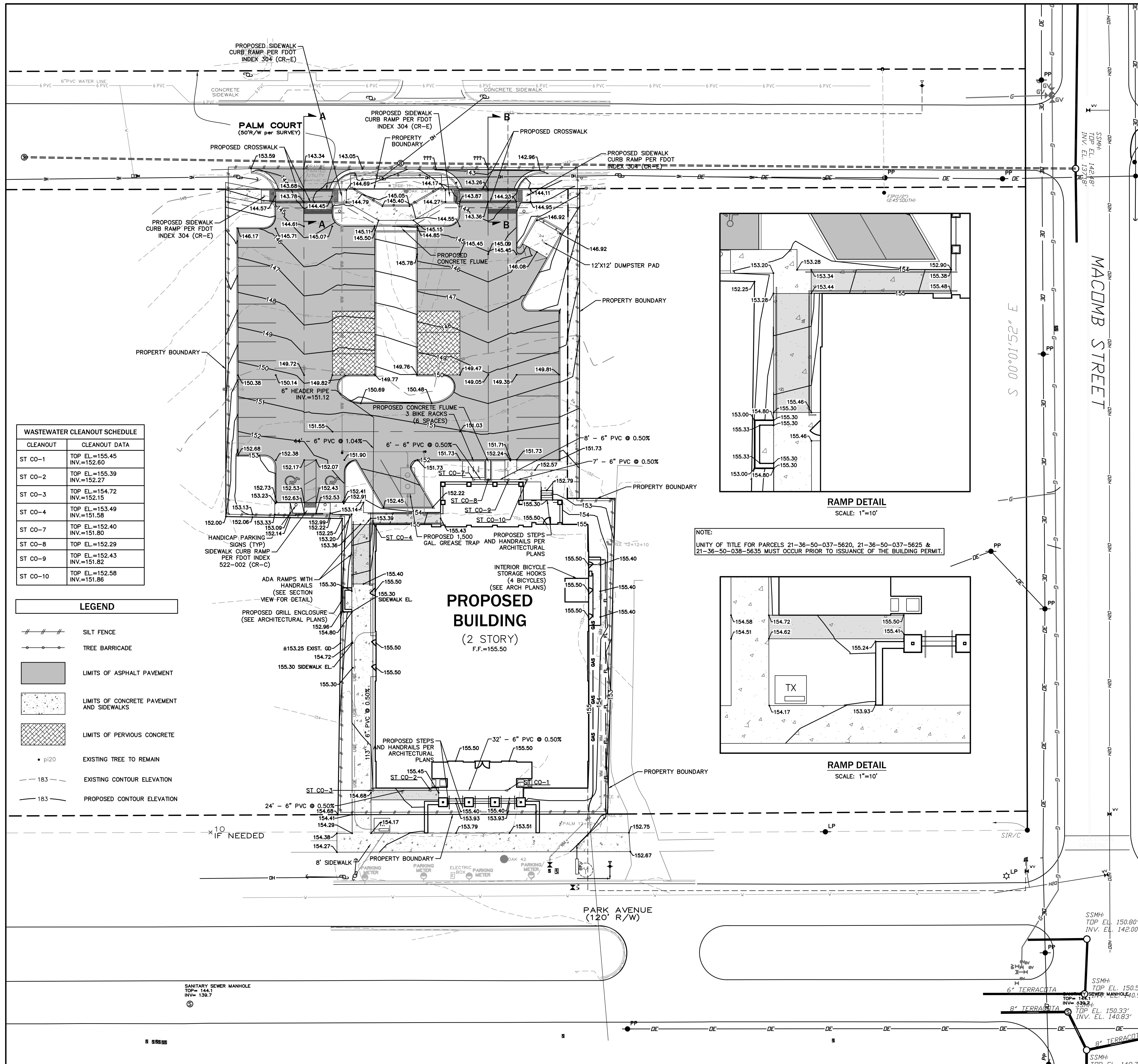
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WASTEWATER CLEANOUT SCHEDULE	
CLEANOUT	CLEANOUT DATA
ST CO-1	TOP EL.=155.45 INV.=152.60
ST CO-2	TOP EL.=155.39 INV.=152.27
ST CO-3	TOP EL.=154.72 INV.=152.15
ST CO-4	TOP EL.=153.49 INV.=151.58
ST CO-7	TOP EL.=152.40 INV.=151.80
ST CO-8	TOP EL.=152.29
ST CO-9	TOP EL.=152.43 INV.=151.82
ST CO-10	TOP EL.=152.58 INV.=151.86

LEGEND	
	SILT FENCE
	TREE BARRICADE
	LIMITS OF ASPHALT PAVEMENT
	LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
	LIMITS OF PERVIOUS CONCRETE
	EXISTING TREE TO REMAIN
	EXISTING CONTOUR ELEVATION
	PROPOSED CONTOUR ELEVATION

### CONTRACTOR NOTICE 2020

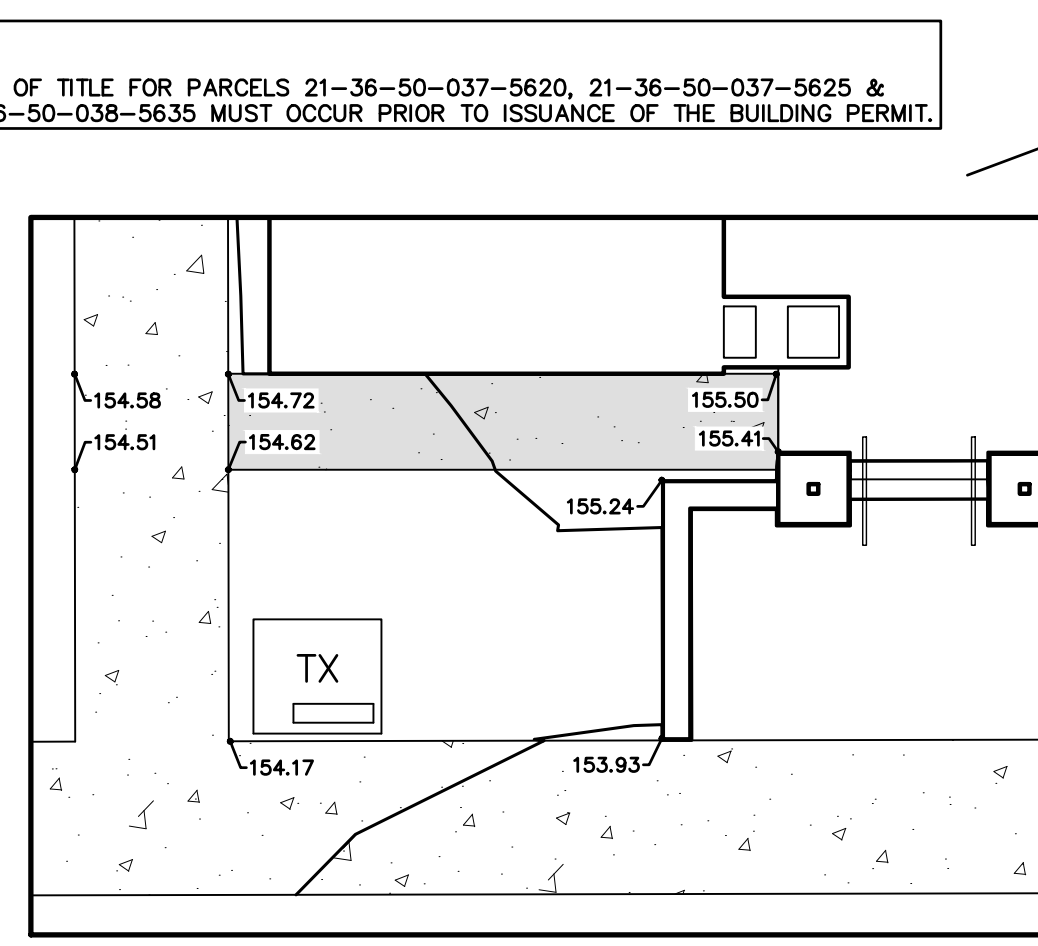
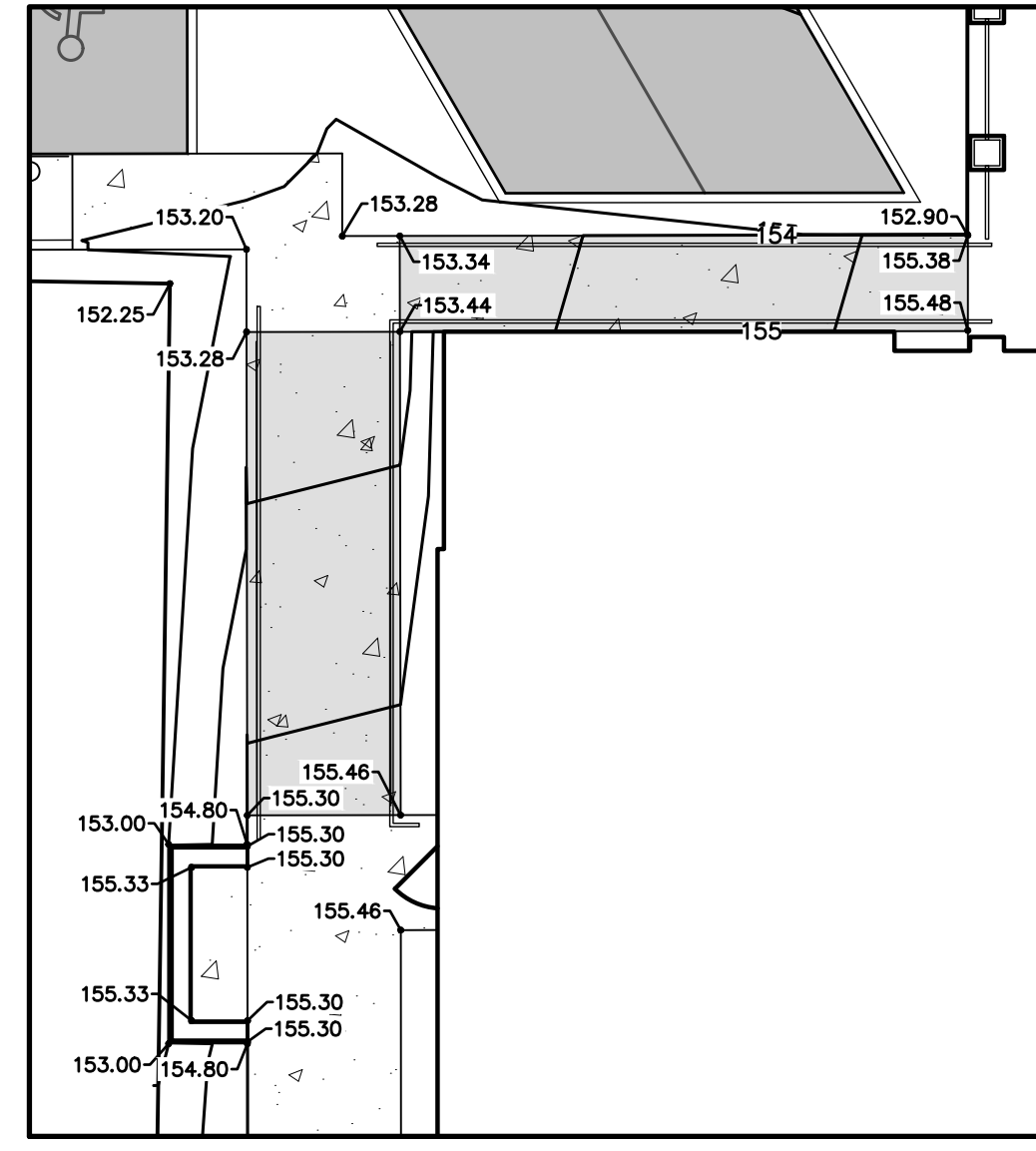
THE CONTRACTOR & OWNER WILL BE HELD ACCOUNTABLE DURING CONSTRUCTION FOR ALL SITE IMPROVEMENTS. COMPLIANCE WITH FLORIDA STATUTES 553.5041 (F.S.), AND THE 2020 FLORIDA BUILDING CODE, ACCESSIBILITY, 7TH EDITION (FBC-A), IS MANDATORY. IF NON-COMPLIANT AT FINAL INSPECTION, CONTRACTOR WILL BE REQUIRED TO MODIFY CONSTRUCTION TO COMPLY WITH F.S. AND FBC-A. THE FOLLOWING ITEMS TAKE PRECEDENCE AND SUPERSEDE OTHER SITE DETAILS ON DRAWINGS:

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON AN ACCESSIBLE ROUTE NO LESS THAN 44" WIDE SO THAT USERS WILL NOT BE COMPELLED TO WALK OR WHEEL BEHIND VEHICLES EXCEPT BEHIND HIS OR HER OWN VEHICLE. RE: §208.1 AND §502.3, FBC-A AND F.S. 553.5041.
2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM THE ACCESSIBLE (H/O) PARKING TO AN ACCESSIBLE ENTRANCE. RE: §208.3.1 FBC-A AND F.S. 553.5041(5)(B).
3. ACCESSIBLE PARKING SPACES SHALL BE 12' WIDE, AND OUTLINED WITH BLUE PAINT. RE: §502.2 AND §502.6, FBC-A.
4. ACCESS AISLES REQUIRED ADJACENT TO PARKING SPACES SHALL BE 5' WIDE WITH DIAGONAL STRIPING. RE: §502, FBC-A.
5. ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE LEVEL (NOT TO EXCEED 1:48) ON A STABLE, FIRM & SLIP RESISTANT SURFACE. RE: §302.1, §502.3, FBC-A.
6. ACCESSIBLE PARKING SIGNS SHALL BE FDOT APPROVED AND SHALL READ "PARKING BY DISABLED PERMIT ONLY AND SHALL INDICATE A \$250 FINE FOR ILLEGAL USE. INSTALL SIGNS A MINIMUM 60" (INCHES) FROM THE GROUND TO THE BOTTOM OF THE SIGN(S). RE: §502.6 AND F.S. 553.5041.
7. CURB RAMPS SHALL NOT EXCEED 1:12 SLOPE. AND CURB RAMP FLARES SHALL NOT EXCEED 1:10 SLOPE. CURB RAMPS AND FLARED SIDES SHALL NOT ENROACH UPON PARKING SPACES, ACCESS AISLES, OR VEHICULAR TRAFFIC LANES. THE COUNTER SLOPE OF ADJACENT ROAD SURFACES & GUTTERS SHALL NOT EXCEED 1:20 SLOPE. RE: §405.2, §406, FBC-A.
8. CURB RAMPS SHALL HAVE A LANDING WITH A MINIMUM CLEAR LENGTH OF 36" SHALL BE LOCATED AT THE TOP SIDE OF EACH CURB RAMP. A CLEAR WIDTH AT LEAST AS WIDE AS THE CURB RAMP (EXCLUDING FLARED SIDES) LEADING TO IT. EXCEPTION: FBC ALTERATIONS, WHERE THERE IS NO LANDING, CURB RAMP FLARES SHALL BE PROVIDED, AND SHALL NOT BE STEEPER THAN 1:12 SLOPE. RE: §406, FBC-A.
9. ALL RAMPS WITH A RISE GREATER THAN 6" SHALL PROVIDE EDGE PROTECTION COMPLYING WITH §405.9 FACBC. RAMPS SHALL HAVE 60" MIN LEVEL LANDINGS AT THE TOP & BOTTOM. RE: §405.7, FBC-A.
10. ALL RAMPS WITH A RISE GREATER THAN 6" SHALL HAVE HANDRAILS ON BOTH SIDES WITH 12" HORIZONTAL EXTENSIONS AT THE TOP & BOTTOM OF THE RAMP. RE: §1010.9 FBC-B (FLORIDA BUILDING CODE - BUILDING) AND §505.10 FBC-A. ACCESSIBLE ROUTES TO "MAIN ENTRY" FROM AN ACCESSIBLE PARKING SPACE, AND FROM THE "PUBLIC WAY" SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS, HANDRAILS WITH PROPER EXTENSIONS ARE PROVIDED) WITH CROSS SLOPE NOT IN EXCESS OF 1:48. RE: §206, §402 AND §403, FBC-A.
11. \*CONNECT BUILDINGS WITHIN THE SAME SITE WITH AN ACCESSIBLE ROUTE WHICH SHALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS AND HANDRAILS ARE PROVIDED) AND A MAXIMUM CROSS SLOPE OF 1:48. RE: §206 FBC-A.

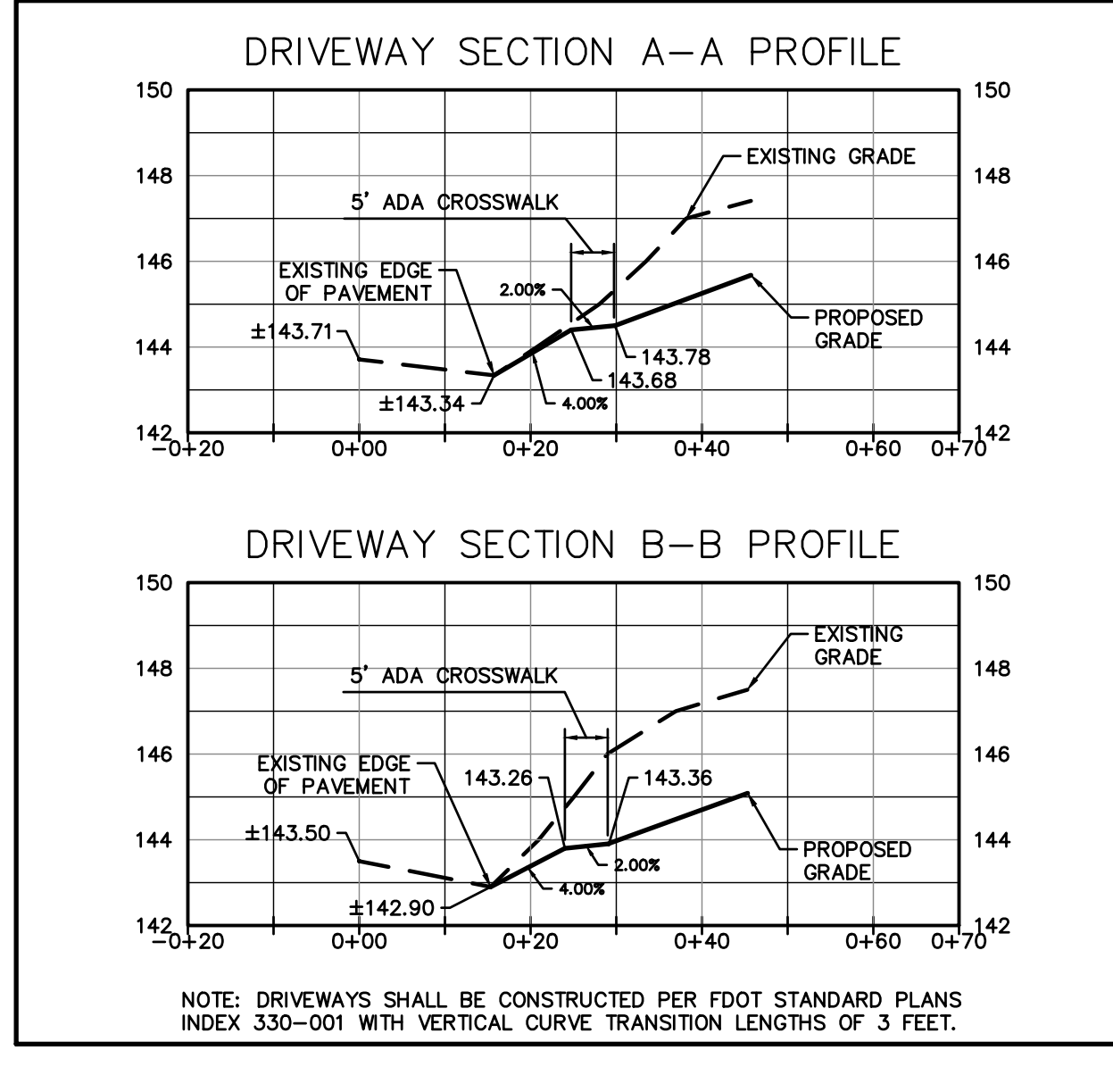
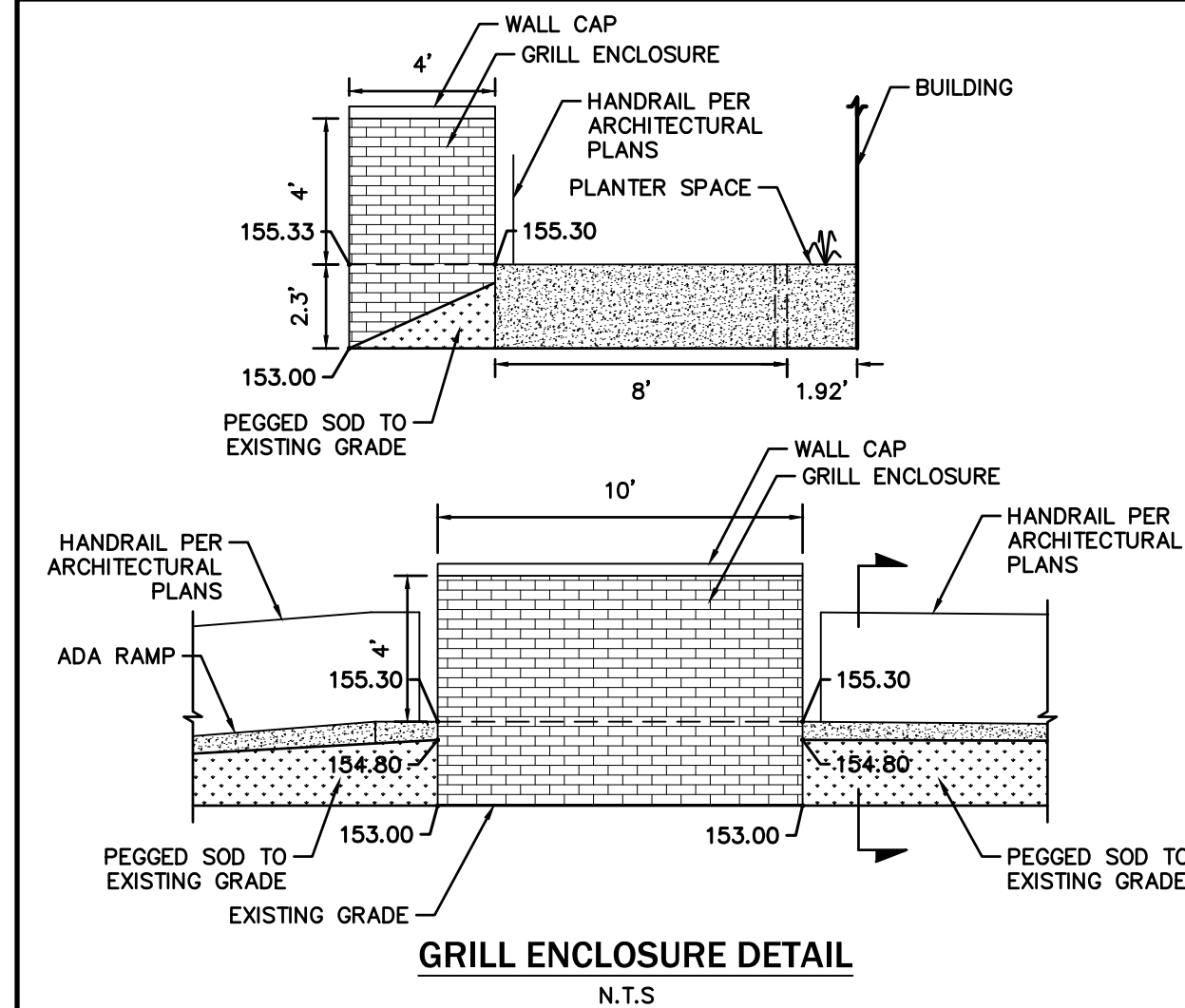
\* EXCEPTION: AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES IF THE MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. RE: §206.2.2 FBC-A.

### GENERAL NOTES

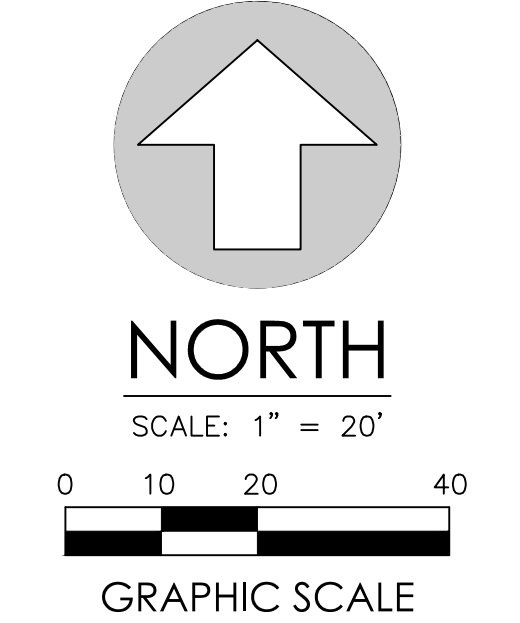
1. ALL EXTERIOR DOORS HAVE EXTERIOR FINISHED FLOOR ELEVATIONS ONE HALF INCH BELOW THE INTERIOR FINISHED FLOOR ELEVATION.
2. ALL PROPOSED HANDICAP RAMPS SHALL BE PER FDOT STANDARD PLANS INDEX 522-002.



NOTE:  
UNITY OF TITLE FOR PARCELS 21-36-50-037-5620, 21-36-50-037-5625 & 21-36-50-038-5635 MUST OCCUR PRIOR TO ISSUANCE OF THE BUILDING PERMIT.



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No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title:

ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

Sheet title: PAVING, GRADING, AND DRAINAGE PLAN

Designed: CSV Sheet No.:

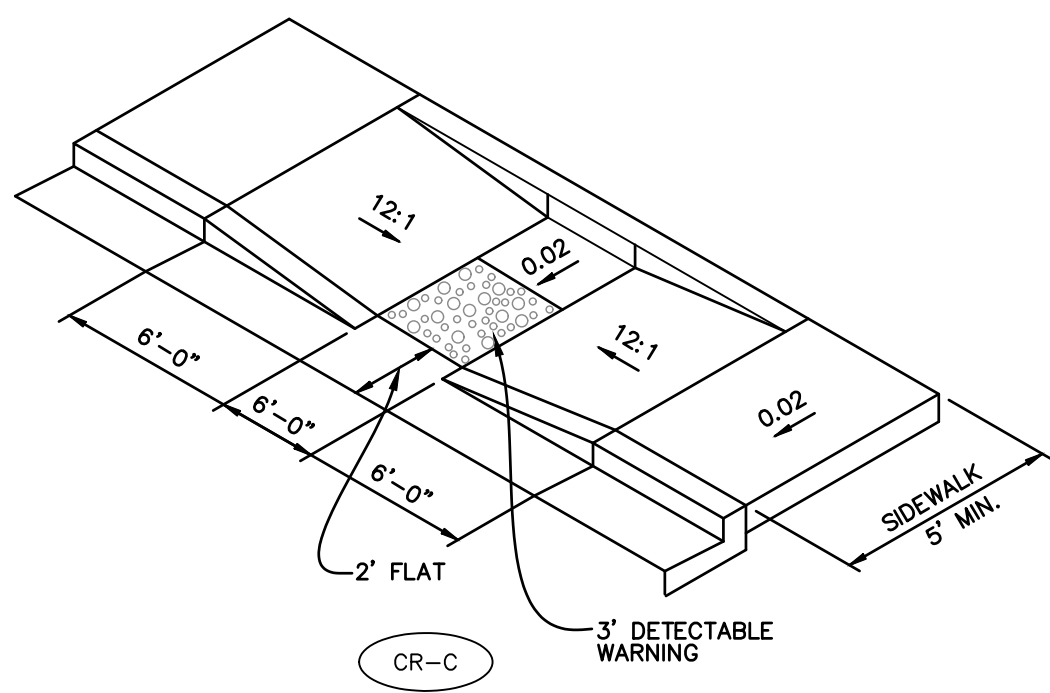
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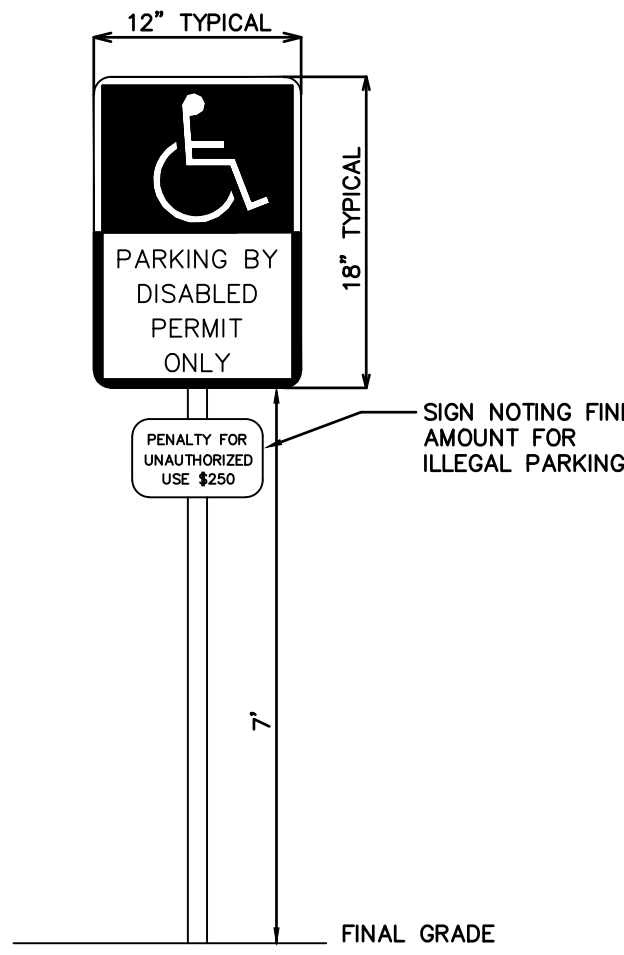
Date: 03/15/23

C300



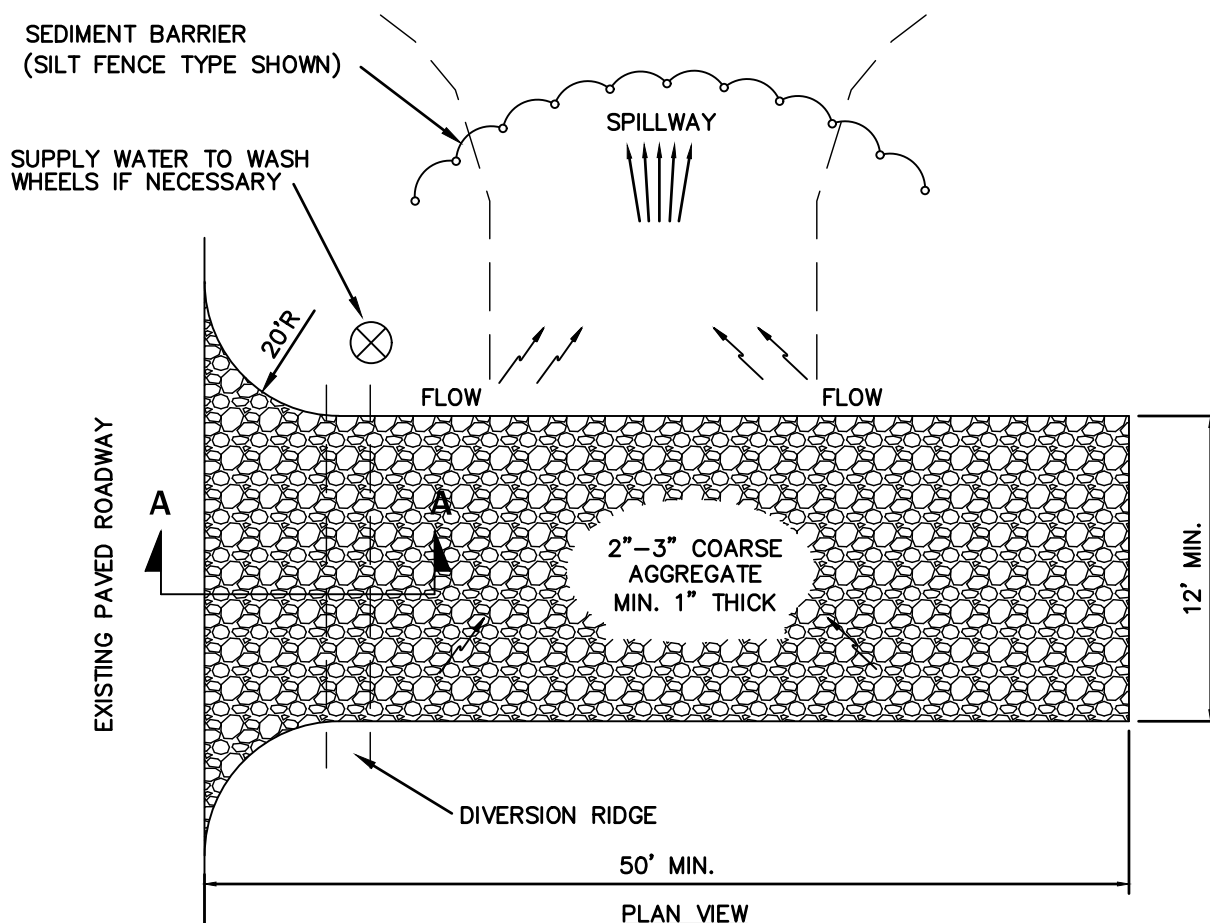


**SIDEWALK RAMP DETAIL-FDOT INDEX 522-002**  
N.T.S.

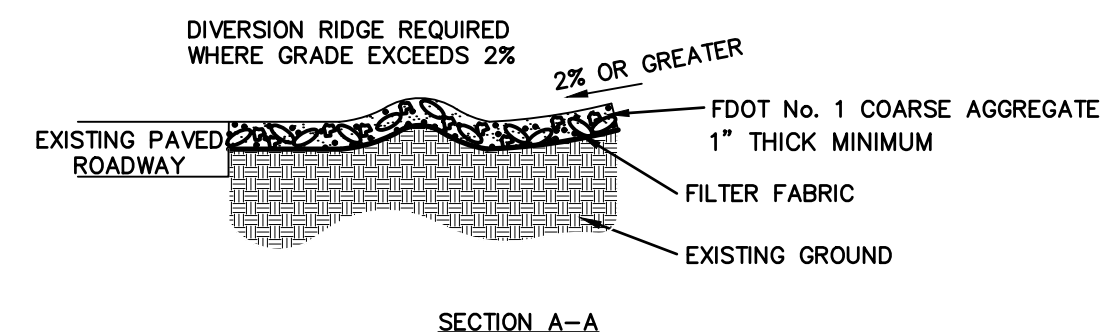


**HANDICAP PARKING SIGN DETAIL**  
N.T.S.

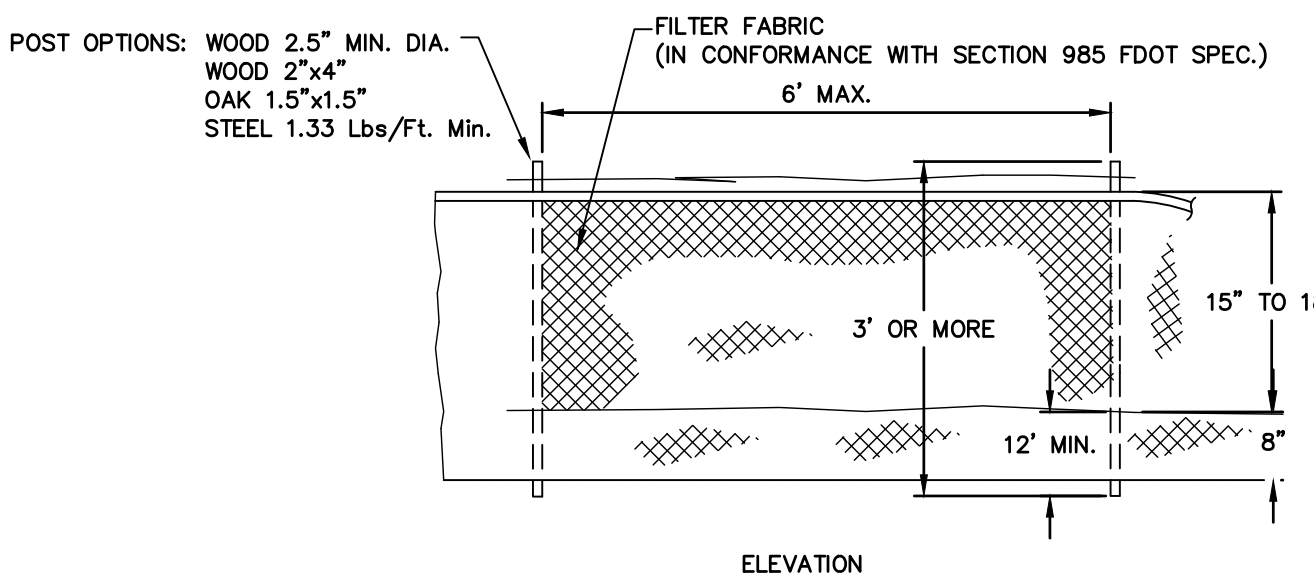
**NOTE:**  
1. SIGN TO BE MADE OF 0.063" STEEL PAINTED WITH TRAFFIC PAINT  
2. HANDICAP SIGN TO BE AS SHOWN ABOVE OR AS REQUIRED BY LOCAL CODE PAINT SIGN BLUE AND WHITE



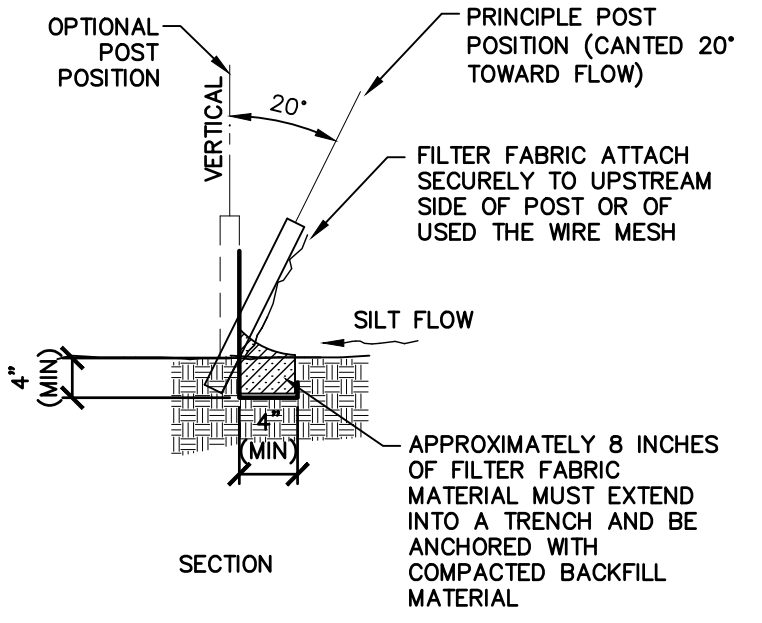
**TYPICAL GRAVEL CONSTRUCTION ENTRANCE**  
N.T.S.



- NOTE:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN WASHING IS REQUIRED, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

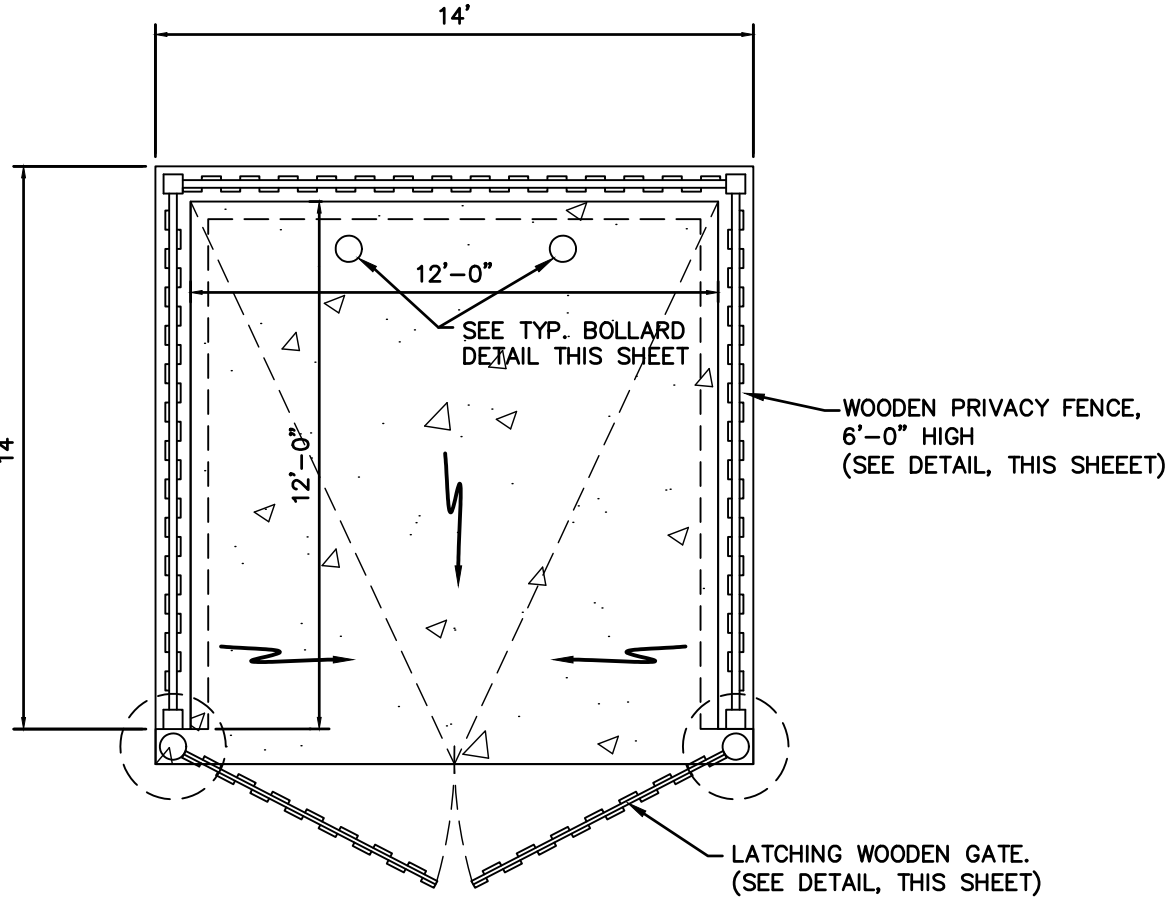


**TYPE III SILT FENCE DETAIL**  
N.T.S.

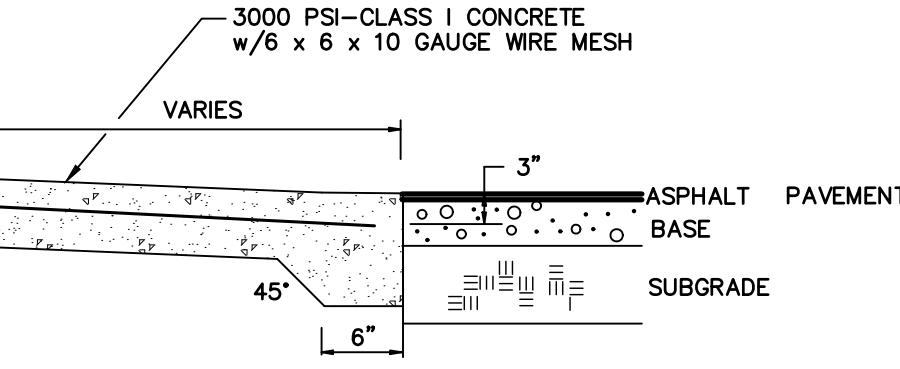


**SILT FENCE SECTION DETAIL**  
N.T.S.

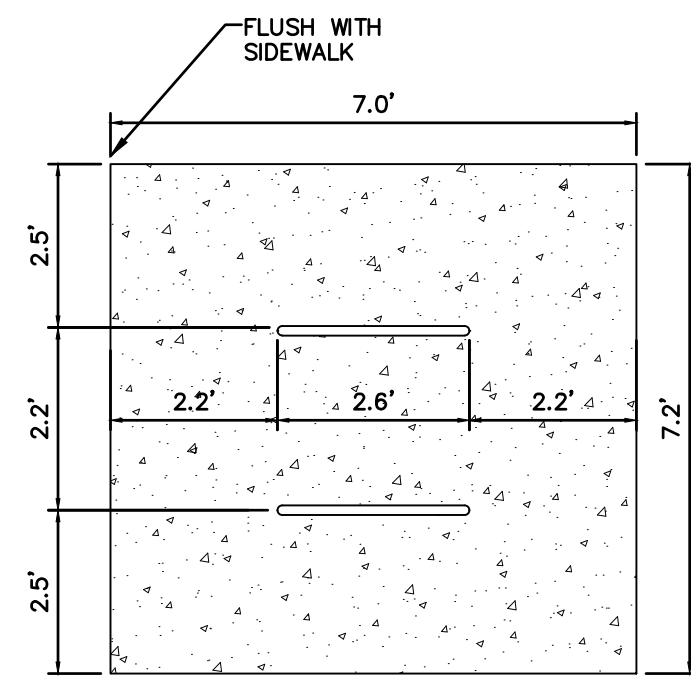
- SOLID WASTE STORAGE FACILITY NOTES**
1. THE SOLID WASTE STORAGE FACILITY SHALL BE COMPLETELY SCREENED FROM VIEW BY AN OPAQUE ENCLOSURE OF WOOD.
  2. ALL SCREENING SHALL BE 6 FEET HEIGHT.



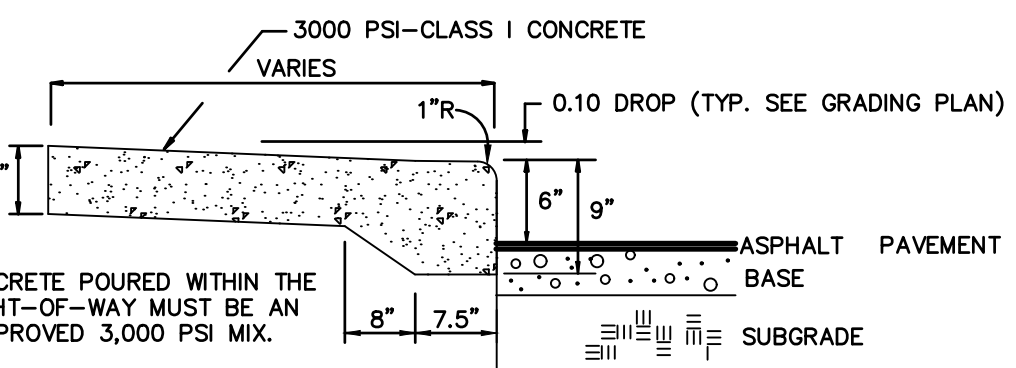
**DUMPSTER AND CONCRETE PAD DETAIL**  
N.T.S.



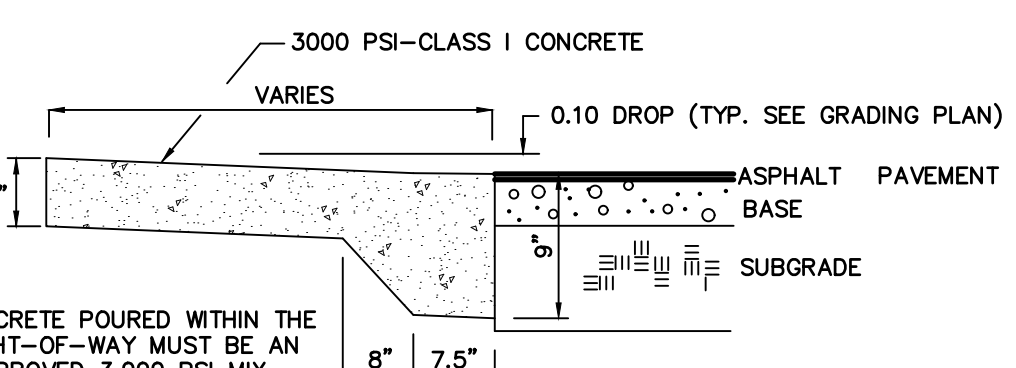
**PERVIOUS CONCRETE DETAIL**  
N.T.S.



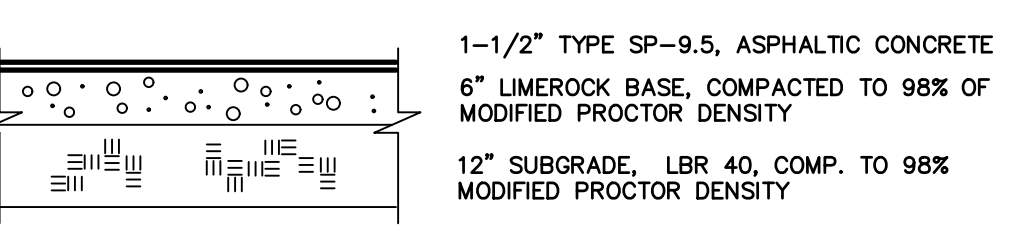
**BIKE RACK DETAIL**  
N.T.S.



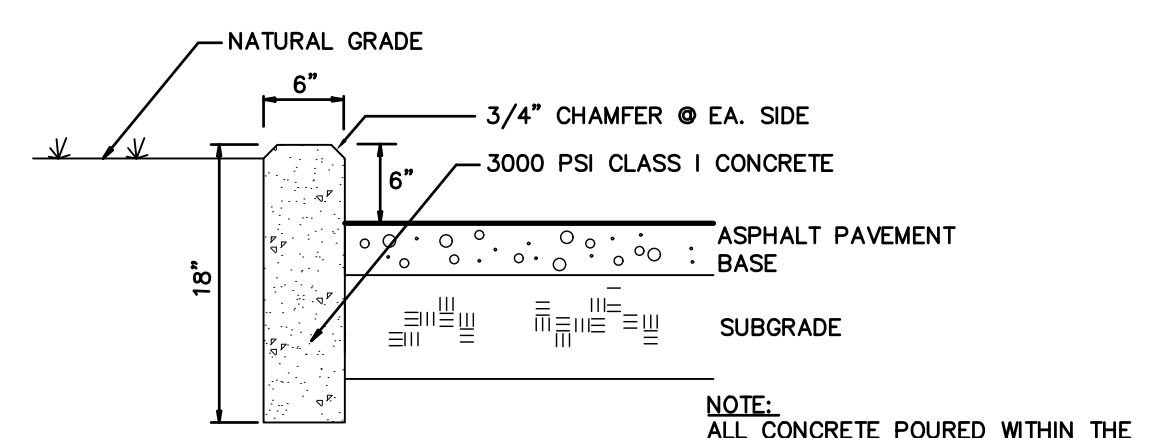
**TYPICAL STEPUP SIDEWALK**  
N.T.S.



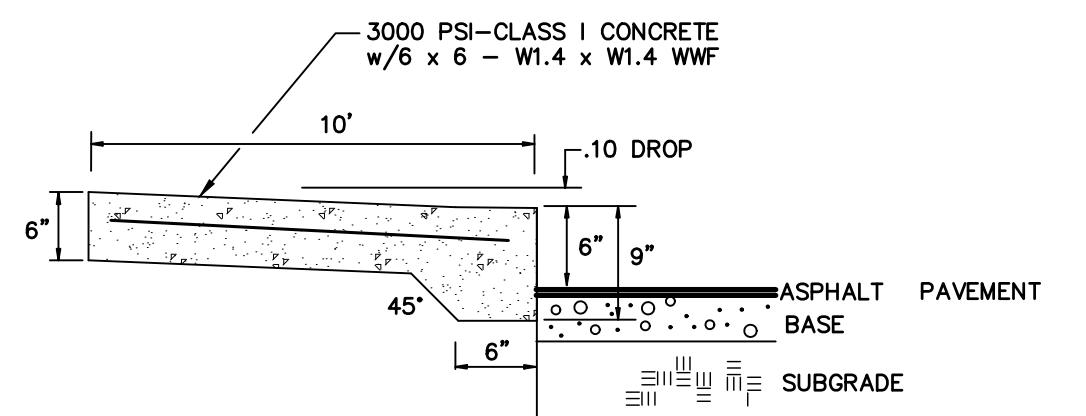
**TYPICAL FLUSH SIDEWALK DETAIL**  
N.T.S.



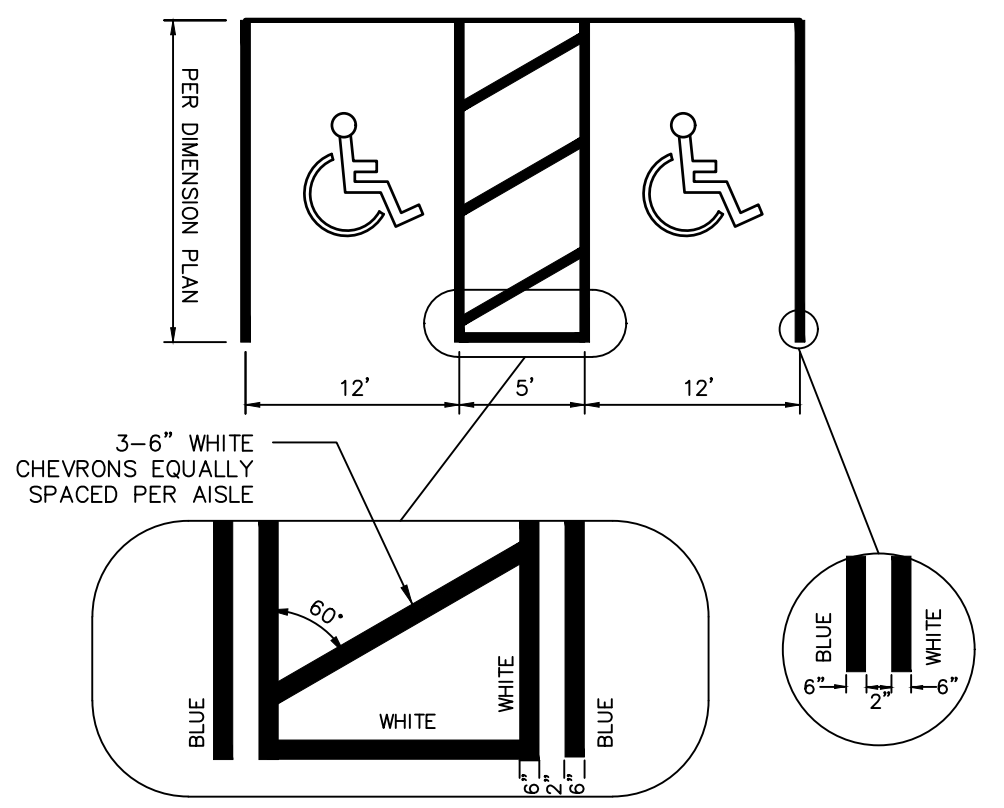
**TYPICAL ASPHALT PAVEMENT DETAIL**  
N.T.S.



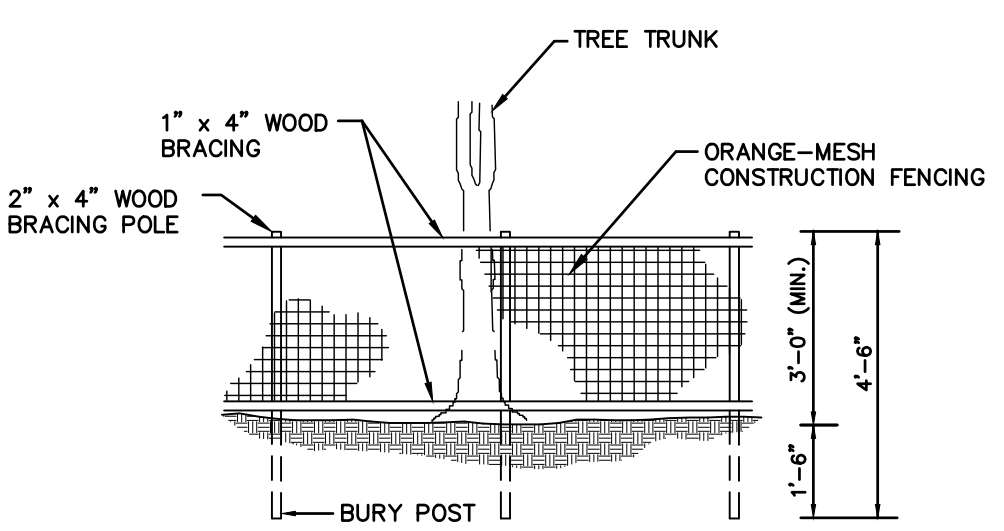
**6" STANDARD CURB DETAIL**  
N.T.S.



**CONCRETE DUMPSTER PAD DETAIL**  
N.T.S.



**HANDICAP STRIPING DETAIL**  
N.T.S.



**TREE BARRICADE FENCING DETAIL**  
N.T.S.

- NOTES:**
1. TREE BARRICADES WILL BE BUILT BEFORE ANY SITE WORK IS UNDERTAKEN AND WILL REMAIN IN PLACE UNTIL THE LANDSCAPING IS PLANTED.
  2. EACH BARRICADE MUST BE AT LEAST 3 FEET TALL, WITH CORNER POSTS OF 2" X 4" WOOD INSERTED AT LEAST ONE AND A HALF (1-1/2) FEET DEEP. THE TWO ROWS OF SIDE SLATS MUST BE 1" X 4" AND BE MARKED WITH PLASTIC RIBBONS OR MESH FENCING FOR VISIBILITY.
  3. NO GRADING WITHIN FENCING. ANY ROOTS GREATER THAN 1" IN DIAMETER THAT ARE DAMAGED OR EXPOSED SHALL BE CLEANLY CUT AND COVERED OVER WITH SOIL.
  4. NO CONSTRUCTION MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN CONSTRUCTION FENCING OR BEYOND THE CONSTRUCTION LIMITS.
  5. THE AREA ENCLOSED MUST BE AT OR OUTSIDE THE DIPLINE FOR ALL HERITAGE AND CHAMPION TREES AND ALL REGULATED PINE AND PALM TREES, OR EQUAL TO 2/3 OF THE DIPLINE OF THE TREE CANOPY FOR ALL OTHER REGULATED SPECIES, OR AT THE TREE ROOT PLATE WHERE ALLOWED BY CONSTRUCTION LIMITS.

**PAVING, GRADING AND DRAINAGE SPECIFICATIONS**

1. GENERAL: ALL ROADWAY AND DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE LATEST F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE LATEST F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL AREAS OF NEW CONSTRUCTION SHALL BE PREPARED AFTER SITE DEMOLITION. TOP SOIL REMAINING ON-SITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS.
3. ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
  - A. EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-3, OR A-2-4 AND SHALL BE PLACED IN 6"-12" LOOSE LIFTS AND COMPACTED TO 98% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
  - B. SUBSOIL EXCAVATION: WHERE SUBSOIL EXCAVATION IS REQUIRED, UNSUITABLE MATERIALS SHALL BE REMOVED TO A DEPTH OF 18" BELOW THE LIMEROCK BASE AND BACKFILLED WITH CLEAN FILL.
  - C. STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL BE TYPE 'B' CONFORMING TO SECTION 914-3 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUES AND DENSITIES AS SHOWN IN THE TYPICAL SECTIONS.
  - D. BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN ONE 6" MINIMUM COMPACTED LIFT OR DOUBLE COMPACTED LIFT. ALL BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
  - E. ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE AS PER DESIGN SECTIONS AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330. ASPHALT PAVEMENT SHALL BE SUPERPAVE SP-PG 67-22 ASPHALT BINDER.
4. ALL CONCRETE PLACED WITHIN THE CITY RIGHT-OF-WAY MUST BE AN FDOT APPROVED 3,000 PSI MIX MINIMUM.
5. REINFORCED CONCRETE PIPE SHALL CONFORM TO SECTION 430.
6. ALL PAVEMENT MARKINGS REQUIRED IN THE R/W SHALL BE THERMOPLASTIC AND INCLUDE RAISED PAVEMENT MARKERS, WHERE REQUIRED CONFORMING TO SECTION 711.
7. ALL PAVEMENT MARKING, SYMBOLS AND STRIPING WITHIN THE SITE SHALL MEET THE LATEST FLORIDA HANDICAP ACCESSIBILITY CODE. PAVEMENT MARKING SHALL BE 4" BLUE/WHITE (HANDICAP) OR WHITE (REGULAR) AND SHALL CONFORM TO THE LATEST F.D.O.T. AND M.U.T.C.D. STANDARDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A GEOTECHNICAL CONSULTANT TO PROVIDE A FIELD INVESTIGATION REPORT DELINEATING RECOMMENDATIONS FOR UNDERCUTTING AND/OR UNDERDRAIN. A COPY OF THIS REPORT SHALL BE FORWARDED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO UNDERCUTTING OR INSTALLING UNDERDRAIN. UNIT PRICES SHALL BE PROVIDED FOR UNDERDRAIN AND UNDERCUTTING. THE CONTRACTOR SHALL NOT CONSTRUCT BASE COURSE UNTIL THE REPORT IS REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
9. SOIL TESTING RESULTS SHALL BE PROVIDED FOR THE PAVEMENT CONSTRUCTION. TESTING RESULTS SHALL BE SUBMITTED FOR THE SUBGRADE AND BASE COURSE, IN ACCORDANCE WITH THE DESIGN SECTION. A MINIMUM OF 5 TEST LOCATIONS SHALL BE PROVIDED ON-SITE. THE TESTING REPORT SHALL DENOTE THE TEST LOCATIONS. THE CONTRACTOR SHALL NOT PROCEED TO THE SUBSEQUENT PAVEMENT SECTION UNTIL TESTING RESULTS ARE APPROVED FOR PREVIOUS SECTION.
  - A. ALL REQUIRED BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE DOCUMENTED WITHIN AN FDOT TYPE DENSITY LOG BOOK. TECHNICIAN MUST HAVE AT LEAST EARTHWORK LEVEL 1 COMPLETED AND MAINTAINED BY THE CONTRACTOR, AND AVAILABLE FOR REVIEW BY THE PUBLIC WORKS INSPECTOR AT ALL TIMES AND IMMEDIATELY UPON REQUEST. THE LOG WILL BE PREPARED AND REVIEWED FOR COMPLIANCE TO THE SPECIFICATIONS BY CITY STAFF PRIOR TO ANY EARTHWORK STARTING. IT WILL CONTAIN PROCTORS, LBR, SOIL CLASSIFICATIONS, ETC. AS REQUIRED BY SPECIFICATION. THE LOG BOOK SHALL BE SIGNED AND SEALED BY THE ENGINEER AND TURNED OVER TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND ACCEPTANCE AS PART OF THE CLOSEOUT DOCUMENTS.
10. LANDSCAPING: FINAL GRADING IN OPEN AREAS AND LANDSCAPE ISLANDS SHALL BE COORDINATED WITH THE LANDSCAPE CONTRACTOR AND THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE THE PLACEMENT OF ANY IRRIGATION AND ELECTRICAL CONDUIT SLEEVES DURING CONSTRUCTION.
11. ROOF RUNOFF WILL BE DIRECTED TO THE STORMWATER SYSTEM IF A GUTTER COLLECTION SYSTEM IS NOT SHOWN IN THE PLANS. RUNOFF COLLECTION SHALL BE COORDINATED WITH THE ARCHITECT.
12. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOIL AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF pH 5.5-6.5.
13. TREE BARRICADES MUST REMAIN IN PLACE AND IN THE DIMENSIONS SHOWN ON THE PLAN UNTIL LANDSCAPING BEGINS. SEE NOTE ON SHEET C0.20 AND THE DETAIL ON THE LANDSCAPE PLAN.
14. CITY RIGHT-OF-WAY:
  - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENT SPECIFIED BY THE PUBLIC WORKS DEPARTMENT.
  - B. THE PUBLIC WORKS DEPARTMENT RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THE ROW TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORNE BY THE DEVELOPER.
15. COUNTY RIGHT-OF-WAY:
  - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE COUNTY ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE ALACHUA COUNTY PUBLIC WORKS DEPARTMENT.
16. STATE RIGHT-OF-WAY:
  - A. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE ROW SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY THE PUBLIC WORKS DEPARTMENT AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT).
  - B. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE CITY AND STATE ROW, WITHOUT INSPECTION BY THE PUBLIC WORKS DEPARTMENT (334-5070), AND FDOT RESPECTIVELY, AND THE CONTRACTOR/DEVELOPER SHALL FURNISH EACH DEPARTMENT WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
17. ALL REQUIRED STORMWATER SITE GRADING AND SIDEWALK SHALL BE INSPECTED DURING CONSTRUCTION AND INSPECTED PRIOR TO CITY ACCEPTANCE OF THE ROADWAY AND DEVELOPMENT RECEIVING A FINAL INSPECTION.



SCALES:  
AS SHOWN

No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title: ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

Sheet title: PAVING, GRADING, AND DRAINAGE DETAILS

Designed: CSV Sheet No.:  
Drawn: JAB  
Checked: DJM  
Date: 03/15/23  
**C310**



THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MAY BE MODIFIED AND UPDATED DURING CONSTRUCTION AS A RESULT OF WEATHER, UNPREDICTABLE EVENTS AND SITE INSPECTIONS.

THIS DOCUMENT WAS PREPARED IN ORDER TO BE IN COMPLIANCE WITH CHAPTER 62-621.300 (4) OF THE FLORIDA ADMINISTRATIVE CODE, WHICH PERTAINS TO THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE ADMINISTRATIVE CODE GRANTS THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) THE AUTHORITY TO REGULATE POINT SOURCE DISCHARGES OF STORM-WATER FROM CONSTRUCTION SITES. THIS DOCUMENT ESTABLISHES A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE AND IS ORGANIZED TO CORRESPOND TO PART V OF DEP DOCUMENT NO. 62-621.300 (4) (A) FDEP FORM 62-621.300 (4) (B) IS TO BE SUBMITTED IN CONJUNCTION WITH THIS DOCUMENT.

**I. PROJECT INFORMATION:**

PROJECT: ALPHA CHI OMEGA SORORITY HOUSE  
 COUNTY: TALLAHASSEE, FLORIDA  
 SECTION/TOWNSHIP/RANGE: S 36, T 1N SOUTH, R 1 WEST  
 COUNTY PARCEL NO.: 21-36-50-037-562-5  
 LATITUDE AND LONGITUDE:  
 STREET ADDRESS: 518 W PARK AVE, TALLAHASSEE, FL 32301  
 PROJECT AREA: 0.79 Ac.  
 APPROXIMATE AREA TO BE DISTURBED BY CONSTRUCTION: 0.79 Ac.

**II. SITE DESCRIPTION:**

1. THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A 2 STORY SORORITY HOUSE WITH ASSOCIATED PAVING, DRAINAGE AND UTILITY IMPROVEMENTS.

THE STORMWATER SYSTEM IS AN EXISTING MASTER STORMWATER BASIN.

2. THE PROPOSED PROJECT USES AN EXISTING MASTER STORMWATER BASIN.

3. EXISTING AND FUTURE DRAINAGE PATTERNS ARE SHOWN ON THE DRAINAGE PLAN FOR PRE-DEVELOPMENT CONDITIONS AND POST-DEVELOPMENT CONDITIONS. OUTFALLS AND STORMWATER BASINS ARE SHOWN IN THE DRAINAGE PLAN AND THE DETAIL PLAN.

**4. SEQUENCE OF CONSTRUCTION:**

- A. PRIOR TO CONSTRUCTION, SILT FENCING AND TREE PROTECTION BARRICADES SHALL BE INSTALLED AND ALL EXISTING DRAINAGE STRUCTURES SHALL BE PROTECTED IN ACCORDANCE WITH THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
- B. THE CONSTRUCTION ENTRANCE(S) WILL BE STABILIZED TO MINIMIZE THE CREATION OF DUST AND OFF SITE TRACKING OF SEDIMENTS.
- C. THE SITE SHALL BE CLEARED AND GRUBBED OF UNDESIRABLE VEGETATION.
- D. THE UNDERGROUND UTILITIES AND STORMWATER PIPING WILL BE INSTALLED AND CONNECTED TO EXISTING STRUCTURES.
- E. THE SITE WILL BE ROUGHLY GRADED, IF SUITABLE, THE EXCAVATED MATERIAL MAY BE USED AS FILL FOR ON-SITE GRADING. THE ROADWAYS SHALL BE GRADED.
- F. ROADWAYS AND PARKING LOTS WILL BE COMPACTED AND A LIMEROCK BASE WILL BE ESTABLISHED FOLLOWED BY AN OVERLAY OF ASPHALTIC CONCRETE. BUILDINGS SHALL BE CONSTRUCTED.
- G. UPON SIGNIFICANT COMPLETION OF CONSTRUCTION, THE STORMWATER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ACCUMULATED DEBRIS AND SEDIMENT.
- H. (EXISTING) STORMWATER BASIN(S) WILL BE SCRAPED CLEAN OF ACCUMULATED SEDIMENT.
- I. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION AREA SHALL BE COMPLETELY GRASSSED AND/OR LANDSCAPED. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS.

**III. CONTROLS:**

THE CONTROLS SHALL BE IMPLEMENTED AND MAINTAINED DURING THE ENTIRE CONSTRUCTION OF THE PROJECT, IF SITE CONDITIONS ARE SUCH THAT ADDITIONAL CONTROL MEASURES ARE REQUIRED THAN WHAT IS SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN, THEN THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES NECESSARY.

- 1. THE CONSTRUCTION ACCESS SHALL BE STABILIZED WITH GRAVEL AND TEMPORARY VEGETATION TO PREVENT SILT LEAVING THE SITE.
- 2. TREE BARRICADES SHALL BE IMPLEMENTED BEFORE CLEARING AND GRUBBING OF ANY OF THE WORK AREAS.
- 3. BEFORE CLEARING, SILT FENCES SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION AND AROUND THE WETLAND(S) AND/OR BASIN(S) AS SHOWN IN THE PLANS. ALL EXISTING STORM DRAINAGE SWALES AND INLETS SHALL BE PROTECTED PER THE FDOT FLORIDA EROSION AND SEDIMENTATION CONTROL MANUAL.
- 4. AFTER CLEARING BUT BEFORE EXCAVATION AND GRADING, TEMPORARY BERMS AND SWALES SHALL BE CONSTRUCTED AS REQUIRED TO DIVERT THE FLOW INTO THE CORRESPONDING STORMWATER BASIN.
- 5. THE BASIN AREA SHALL BE PROTECTED AS INDICATED ON THE PLANS.
- 6. THE STORMWATER BASIN(S) SHALL BE ROUGH GRADED TO WITHIN 6" OF THE DESIGNED BASIN BOTTOM. THE BASIN SIDE SLOPES SHALL BE STABILIZED AS SHOWN IN THE PLANS BY SEEDING, MULCHING AND/OR SODDING TO PREVENT EXCESSIVE EROSION.
- 7. DURING CONSTRUCTION OF PAVING AND BUILDINGS, EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS REQUIRED.
- 8. ALL DISTURBED AREAS WITHIN THE CONSTRUCTION SITE SHALL BE COMPLETELY LANDSCAPED AND/OR GRASSSED. FINAL STABILIZATION (INCLUDING SEEDING, MULCHING, SODDING OR RIPRAP) SHALL BE INSTALLED AS REQUIRED. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT INDEX 104. EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO REMOVAL OF SILT FENCING AND OTHER EROSION CONTROL APPLICATIONS AND PRIOR TO FINAL RELEASE.

**IV. EROSION AND SEDIMENTATION CONTROLS:**

**STABILIZATION PRACTICES**

- 1. ALL ENTRANCES TO THE SITE SHALL BE STABILIZED BEFORE CONSTRUCTION AND FURTHER DISTURBANCE BEGINS. GRAVEL PAD SHALL PROVIDE STABILIZATION AND MINIMIZE THE AMOUNT OF SEDIMENT LEAVING THE SITE. MAINTENANCE OF THE ENTRANCE SHALL INCLUDE SWEEPING OF THE AREA ADJACENT TO THE ENTRANCE. STONE AND GRAVEL MIGHT NEED TO BE PERIODICALLY ADDED TO MAINTAIN THE EFFECTIVENESS OF THE ENTRANCE(S).
- 2. TREE BARRICADES SHALL BE INSTALLED AROUND THE TREES AS SHOWN IN THE DETAIL PLAN TO PROTECT THE EXISTING VEGETATION.
- 3. MULCH SHALL BE PLACED IN THE AREAS REQUIRED TO PREVENT EROSION FROM STORMWATER RUNOFF AND THE AREAS SHOWN ON THE PLANS. MULCH SHALL BE ANCHORED TO RESIST WIND DISPLACEMENT AND SHALL BE INSPECTED AFTER EVERY RAINSTORM TO IDENTIFY AREAS WHERE MULCH HAS BEEN WASHED OUT OR LOOSENED. THESE AREAS SHALL HAVE MULCH COVER REPLACEMENT.
- 4. SEEDING SHALL BE STARTED AFTER GRADING HAS BEEN FINISHED ON THE AREAS SHOWN IN THE PLANS. SEEDS ARE SHOWN SHOULD BE INSPECTED FOR FAILURE TO ESTABLISH, AND NECESSARY REPAIRS AND RESEEDING SHOULD BE MADE AS SOON AS POSSIBLE. ADDITIONAL SEEDING AND MULCH MAY BE REQUIRED AS NECESSARY TO PREVENT EROSION DURING OR AFTER CONSTRUCTION HAS FINISHED.
- 5. SOD SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS. SOD SHALL BE PEGGED IF INSTALLED ON SLOPES GREATER THAN 3:1. SODDED AREAS SHALL BE MAINTAINED AND INSPECTED TO ENSURE SUCCESSFUL ESTABLISHMENT.

**SEDIMENTATION PRACTICES**

- 1. SILT FENCES SHALL BE INSTALLED IN THE AREAS SHOWN IN THE PLANS AND AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION AREA. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT TO ENSURE THAT THERE ARE NO GAPS OR TEARS. IF GAPS OR TEARS ARE FOUND THE FABRIC SHOULD BE REPAIRED OR REPLACED. SEDIMENT REMOVAL SHALL BE PART OF THE REGULAR MAINTENANCE. SILT FENCES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION HAS FINISHED AND DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- 2. DIVERSION SWALES, IF REQUIRED, SHALL BE CONSTRUCTED BEFORE MAJOR LAND DISTURBANCE OF THE RECEIVING BASIN. DIVERSION SWALES SHALL BE STABILIZED AFTER CONSTRUCTION TO MAINTAIN ITS EFFICIENCY.
- 3. INLETS SHOULD BE TEMPORARILY PROTECTED TO PREVENT SEDIMENT ENTERING THE INLET. BARRIERS WILL CATCH SOIL, DEBRIS AND SEDIMENT AT THE ENTRANCE OF THE INLET.
- 4. OUTFALL STRUCTURES SHALL HAVE SILT FENCES TO PREVENT SILT FROM ENTERING THE STORMWATER BASINS AND SHALL BE STABILIZED AS REQUIRED TO PREVENT EROSION FROM WASHOUTS.

**V. STORMWATER MANAGEMENT:**

- 1. THE PROPOSED PROJECT OBTAINED AN ENVIRONMENTAL RESOURCE PERMIT FROM NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (NWFWD) FOR THE CONSTRUCTION AND OPERATION OF A STORMWATER TREATMENT SYSTEM AND CONTROLS. THE PROPOSED SYSTEM (AS SHOWN ON THE PLANS) INCLUDED THE USE OF THE BEST MANAGEMENT PRACTICES (BMP) CONSISTENT WITH THE APPLICABLE REQUIREMENTS OF RULE 400-42 OF THE DISTRICT. THE OWNER AND/OR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER TREATMENT SYSTEM AND CONTROLS UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED AND FINAL STABILIZATION HAS BEEN ACCOMPLISHED. HOWEVER, THE OWNER AND/OR AN ENTITY SIMILAR TO A HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM IN PERPETUITY, IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL RESOURCE PERMIT.
- 2. TO TREAT AND CONTROL THE STORMWATER PRODUCED BY THE PROPOSED DEVELOPMENT, THE PROJECT REQUIRES THE INSTALLATION AND CONSTRUCTION OF THE FOLLOWING ENP'S DISCHARGE TO AN EXISTING MASTER STORMWATER SYSTEM. THE BASIN SYSTEM HAS BEEN DESIGNED TO CONTAIN AND ATTENUATE THE STORMS AND DISCHARGE AT PRE-DEVELOPMENT CONDITIONS, WHILE PROVIDING TREATMENT TO THE RUNOFF AS REQUIRED BY THE DISTRICT AND STATE RULES USING THE GUIDELINES CONTAINED IN THE NWFWD HANDBOOK.
- 3. THE PROJECT UTILIZES AN EXISTING MASTER STORMWATER SYSTEM.

**VI. CONTROLS FOR OTHER POLLUTANTS:**

- 1. WASTE DISPOSAL: NO SOLID MATERIALS, INCLUDING CONSTRUCTION MATERIALS, SHALL BE DISCHARGED TO SURFACE WATERS AND ARE NOT AUTHORIZED UNDER THE ISSUED ENVIRONMENTAL RESOURCE PERMIT.
- 2. THE USE OF GRAVEL AND CONTINUING SWEEPING ACTIVITIES AT THE ENTRANCE OF THE SITE WILL CONTROL THE TRACKING OF SEDIMENT AND DUST LEAVING THE SITE.
- 3. THE PROPOSED DEVELOPMENT WILL PROVIDE WATER AND SEWER SYSTEM BY CONNECTING INTO THE CENTRAL MUNICIPAL SYSTEM OF GAINESVILLE REGIONAL UTILITIES.
- 4. ANY APPLICATION OF FERTILIZERS AND PESTICIDES NECESSARY TO ESTABLISH AND MAINTENANCE OF VEGETATION DURING CONSTRUCTION AND THROUGH PERPETUITY MAINTENANCE SHALL FOLLOW THE MANUFACTURERS RECOMMENDATIONS AND THE APPLICABLE RULES OF THE STATE OF FLORIDA.
- 5. ANY TOXIC MATERIALS REQUIRED DURING CONSTRUCTION SHALL BE PROPERLY STORED, DISPOSED OF AND CONTRACTOR AND/OR OWNER SHALL PROVIDE THE APPROPRIATE PERMITS FROM THE LOCAL OR STATE AGENCIES.

**VII. APPROVED STATE OR LOCAL PLANS:**

- 1. ALL THE SEDIMENT AND EROSION CONTROLS THAT ARE LISTED IN THE SITE PLAN AS APPROVED BY THE NWFWD ARE INCLUDED IN THIS STORMWATER POLLUTION PREVENTION PLAN (SEE ITEM III AND IV).
- 2. THIS STORMWATER POLLUTION PREVENTION PLAN SHALL BE AMENDED IF REQUIRED BY ANY LOCAL OR STATE AGENCY OR AS REQUIRED BY UNFORESEEABLE CONDITIONS AND THE OWNER SHALL SUBMIT A RE-CERTIFICATION TO THE NPDES STATE OFFICE THAT THE PLAN HAS BEEN AMENDED TO ADDRESS THOSE CHANGES.

**VIII. MAINTENANCE:**

THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE, INSPECTION SCHEDULED, AND REPAIRS OUTLINED IN THIS PLAN. MAINTENANCE SHALL CONTINUE THROUGHOUT THE PROJECT UNTIL WORK IS COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER CONSTRUCTION IS COMPLETE.

IN ADDITION TO THE ITEMS MENTIONED IN THE PREVIOUS SECTIONS, THE CONTRACTOR SHALL INITIATE ANY REPAIRS WITHIN 24 HOURS OF BEING REPORTED. IN THE EVENT THAT THE BASINS DO NOT PERFORM PROPERLY OR IF A SINKHOLE DEVELOPS, THE PROJECT ENGINEER SHALL BE NOTIFIED TO ASSIST IN COORDINATING REMEDIAL ACTION.

- 1. MAINTENANCE WOULD BE DIVIDED IN ROUTINE MAINTENANCE AND REPAIR MAINTENANCE. ALL STORMWATER BMP'S SHOULD BE INSPECTED FOR CONTINUED EFFECTIVENESS AND STRUCTURAL INTEGRITY ON A REGULAR BASIS. THE SYSTEMS SHOULD BE CHECKED AFTER EACH STORM EVENT IN ADDITION TO REGULARLY SCHEDULED INSPECTIONS.
- 2. ROUTINE MAINTENANCE REQUIREMENTS SHOULD BE INCLUDED IN THE INSPECTOR CHECKLIST TO AID THE INSPECTOR IN DETERMINING WHETHER A BMP'S MAINTENANCE IS ADEQUATE OR NEEDS A REVISION. INSPECTORS SHALL KEEP RECORD OF MAINTENANCE, ROUTINE OR REPAIR, TO PROVIDE EVIDENCE OF AN EFFICIENT INSPECTION AND MAINTENANCE.
- 3. SIDE ENTRANCES: MAINTENANCE SHALL INCLUDE REPLACEMENT OF GRAVEL AND CLEANING THE SOIL THAT IS TRACKED OFFSITE FOR PROPER DISPOSAL.
- 4. TREE BARRICADES: MAINTENANCE SHALL INCLUDE INSPECTION OF MESH AND POSTS AND REPAIR OR REPLACEMENT OF DAMAGED VEGETATION.
- 5. SILT FENCES: MAINTENANCE SHALL INCLUDE SEDIMENT REMOVAL AND INSPECTION TO ENSURE PROPER ANCHORING AND THAT NO TEARING OR GAPS HAVE OCCURRED. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF SILT FENCE.
- 6. DIVERSION SWALES: MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY RAINFALL EVENT AND ONCE EVERY TWO WEEKS BEFORE FINAL STABILIZATION. THEY SHOULD BE CLEARED OF SEDIMENT AND MAINTAIN VEGETATIVE COVER.
- 7. TEMPORARY BERMS: MAINTENANCE SHALL INCLUDE REMOVAL OF DEBRIS, TRASH SEDIMENT AND LEAVES. SIDES OF THE BERM SHALL BE INSPECTED FOR EROSION AFTER EACH STORM EVENT.
- 8. MULCHING: ROUTINE MAINTENANCE SHALL INCLUDE REPLACEMENT PERIODICALLY.
- 9. SEEDING: ROUTINE MAINTENANCE SHALL INCLUDE RESEEDING OF AREAS THAT FAILED TO ESTABLISH.
- 10. SODDING: ROUTINE MAINTENANCE SHALL INCLUDE WATERING AND MOWING. REPLACEMENT OF GRASS MAY BE NECESSARY IF COVER IS NOT FULLY ESTABLISHED.
- 11. INLETS: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT AND MIGHT INCLUDE REMOVAL OF ACCUMULATED SEDIMENT.
- 12. OUTFALL STRUCTURES: ROUTINE MAINTENANCE SHALL INCLUDE INSPECTION AFTER EVERY STORM EVENT TO ASSURE NO EROSION OR SCOUR HAS OCCURRED.
- 13. DRY RETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.
- 14. WET DETENTION BASINS: ROUTINE MAINTENANCE SHALL INCLUDE MONITORING FOR SEDIMENT ACCUMULATION, CLEAN AND REMOVE DEBRIS FROM INLETS AND OUTLETS, MOW SIDE SLOPES AND INSPECT FOR DAMAGE OF BERMS AND REPAIR UNDERCUT OR ERODED AREAS AS NECESSARY.

**IX. INSPECTIONS:**

- 1. THE OWNER AND /OR CONTRACTOR SHALL PROVIDE QUALIFIED PERSONNEL TO INSPECT ALL POINTS OF POTENTIAL DISCHARGE FROM THE PROJECT SITE FOR DISTURBED AREAS, THE EROSION AND SEDIMENTATION CONTROLS AND BMP'S AS LISTED IN THIS PLAN. THE INSPECTION SHALL BE PERFORMED DURING CONSTRUCTION AND BEFORE FINAL STABILIZATION, ONCE EVERY SEVEN-CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS GREATER THAN 0.50 INCHES. AFTER FINAL STABILIZATION AND BEFORE FINISH OF CONSTRUCTION THE INSPECTION SHALL BE CONDUCTED ONCE EVERY MONTH.
- 2. THE CONTRACTOR SHALL INSTALL A RAIN GAUGE AT THE SITE TO MONITOR AND DOCUMENT RAINFALL EVENTS IN EXCESS OF 0.50 INCHES.
- 3. ALL DISTURBED AREAS AND AREAS USED FOR MATERIALS STORAGE SHALL BE INSPECTED FOR POLLUTANTS ENTERING THE STORMWATER SYSTEM. THE STORMWATER MANAGEMENT SYSTEM AND EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO ENSURE THEY ARE OPERATING CORRECTLY. LOCATIONS WHERE VEHICLES ENTER AND LEAVE THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- 4. REPAIR OR MAINTENANCE NEEDED TO ASSURE PROPER OPERATION OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE DONE IN A TIMELY MANNER BUT NO LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION.
- 5. A REPORT SHALL BE KEPT OF EACH INSPECTION FOR THREE YEARS AFTER FINAL STABILIZATION AND SHALL INCLUDE THE DATES OF EACH INSPECTION, THE SCOPE OF THE INSPECTION, MAJOR OBSERVATIONS, ANY REPAIR AND/OR MAINTENANCE REQUIRED AND ANY INCIDENT OF NON-COMPLIANCE. IF THE REPORT DOES NOT CONTAIN ANY INCIDENTS OF NON-COMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY HAS BEEN IN COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND THE NPDES PERMIT. THE REPORT SHALL INCLUDE THE NAME AND QUALIFICATIONS OF THE INSPECTOR AND SHALL BE SIGNED IN ACCORDANCE TO FDEP RULE 62-621.300, PART VI.C. A COPY OF THE CONSTRUCTION INSPECTION FORM IS INCLUDED ON THIS STORMWATER POLLUTION PREVENTION PLAN SHEET. A COPY SHALL BE RETAINED AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

**X. NON-STORMWATER DISCHARGES:**

- 1. THE FOLLOWING NON-STORMWATER DISCHARGES MIGHT BE COMBINED WITH STORMWATER AND WOULD BE AUTHORIZED AS PART OF THIS PERMIT: FIRE HYDRANT FLUSHING, CONTROL OF DUST, POTABLE WATER FLUSHING AND IRRIGATION DRAINAGE. BECAUSE OF THE NATURE OF THESE DISCHARGES, THE EROSION, STABILIZATION AND TREATMENT SYSTEMS TO BE IMPLEMENTED, AS PART OF THIS PLAN WOULD BE APPROPRIATE TO PREVENT AND TREAT ANY POLLUTION RELATED TO THESE NON-STORMWATER DISCHARGES.
- 2. DISCHARGES FROM DEWATERING ACTIVITIES ASSOCIATED WITH SITE CONSTRUCTION ARE NOT AUTHORIZED AND REQUIRED CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND USE OF APPROPRIATE FLOCCULATING AGENTS TO ENHANCE PARTICLE SEGREGATION AND SPEED UP SETTLING OF PARTICLES.

**XI. CONTRACTORS:**

- 1. ALL CONTRACTORS AND/OR SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING THE PLAN SHALL SIGN THE CERTIFICATION STATEMENT BEFORE STARTING CONSTRUCTION ACTIVITIES OF THE PROJECT. THE CERTIFICATION MUST INCLUDE THE NAME AND TITLE OF THE PERSON PROVIDING THE SIGNATURE, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE CONTRACTING FIRM, THE ADDRESS OF THE SITE AND THE DATE THE CERTIFICATION IS MADE. THE OWNER SHALL KEEP THESE CERTIFICATIONS AS PART OF THIS POLLUTION PLAN. MULTIPLE COPIES OF THE CERTIFICATION STATEMENT MAY BE NECESSARY DEPENDING UPON THE NUMBER OF SUBCONTRACTORS ASSOCIATED WITH THE PROJECT.

**CERTIFICATION STATEMENT**

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

CONTRACTING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE, ZIP CODE: \_\_\_\_\_  
 TELEPHONE: \_\_\_\_\_  
 FAX: \_\_\_\_\_  
 PROJECT NAME: ALPHA CHI OMEGA SORORITY HOUSE  
 PROJECT ADDRESS: \_\_\_\_\_  
 CITY, STATE, ZIP CODE: \_\_\_\_\_, FLORIDA.  
 NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_



No.	Date	Comment

Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
 Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title:

ALPHA CHI OMEGA SORORITY HOUSE  
 TALLAHASSEE, FLORIDA

Sheet title: STORMWATER POLLUTION PREVENTION PLAN

Designed: CSV Sheet No.:  
 Drawn: JAB  
 Checked: DJM  
 Date: 03/15/23  
**C320**

**STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM**

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

PROJECT NAME: **ALPHA CHI OMEGA SORORITY HOUSE** FDEP NPDES STORMWATER IDENTIFICATION NO.: FLR10 \_\_\_\_\_  
 OWNER: \_\_\_\_\_ CONTRACTOR: \_\_\_\_\_  
 CONSTRUCTION MANAGER: \_\_\_\_\_

Date of Inspection	Location	Rain data	Type of control (see below)	Date installed / modified	Current Condition (see below)	Observations or Corrective Action / Other Remarks	Inspected By

CONDITION CODE: G = Good M = Marginal, needs maintenance or replacement soon O = Other  
 C = Needs to be cleaned P = Poor, needs immediate maintenance or replacement

CONTROL TYPE CODES			
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

INSPECTOR INFORMATION:

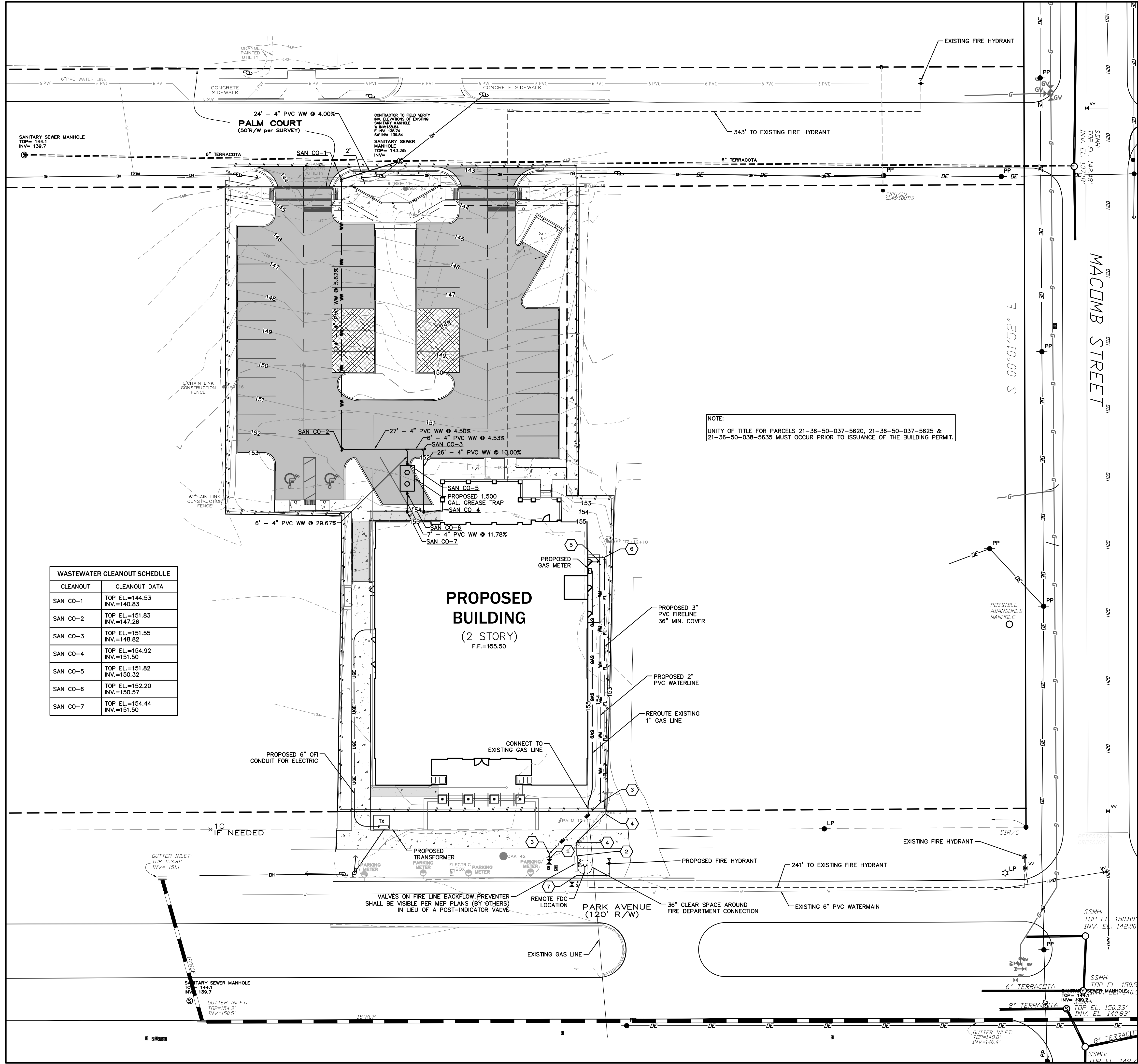
Name \_\_\_\_\_ Qualification \_\_\_\_\_ Date \_\_\_\_\_

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non compliance identified above.

\*\*\*\*\*  
 "I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



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NOTE:  
 UNITY OF TITLE FOR PARCELS 21-36-50-037-5620, 21-36-50-037-5625 &  
 21-36-50-038-5635 MUST OCCUR PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

WASTEWATER CLEANOUT SCHEDULE	
CLEANOUT	CLEANOUT DATA
SAN CO-1	TOP EL.=144.53 INV.=140.83
SAN CO-2	TOP EL.=151.83 INV.=147.26
SAN CO-3	TOP EL.=151.55 INV.=148.82
SAN CO-4	TOP EL.=154.92 INV.=151.50
SAN CO-5	TOP EL.=151.82 INV.=150.32
SAN CO-6	TOP EL.=152.20 INV.=150.57
SAN CO-7	TOP EL.=154.44 INV.=151.50

- ### UTILITY NOTES
- A SEPARATE UTILITY PERMIT WILL BE REQUIRED FOR THE EXTENSION OF THE PROPOSED UTILITIES (WATER & WASTEWATER).
  - THE UTILITY PLAN AND PLAT SHOWS ALL PUBLIC UTILITY EASEMENTS (PUE'S) IN A METES AND BOUNDS FORMAT. UPON GRU'S APPROVAL OF PLANS FOR DEVELOPMENTS NOT BEING PLATTED, OWNER MAY CHOOSE TO GRANT THE METES AND BOUNDS EASEMENTS AS SHOWN, OR GRANT A BLANKET EASEMENT OVER THE ENTIRE PROPERTY. PROVIDED FACILITIES ARE INSTALLED WITHIN THE PRESCRIBED DISTANCES AS SHOWN ON THE UTILITY PLANS AND IN ACCORDANCE WITH THE UTILITY SEPARATION REQUIREMENTS TABLE IN APPENDIX C OF THE GRU W/WW/R/W DESIGN STANDARDS.
  - ALL CONSTRUCTION MATERIALS AND METHODS FOR POTABLE WATER, WASTEWATER AND RECLAIMED WATER SYSTEMS SHALL CONFORM TO GRU'S MOST RECENT POTABLE WATER, WASTEWATER, AND RECLAIMED WATER SYSTEM DESIGN STANDARDS AND APPROVED MATERIALS MANUAL.
  - POTABLE WATER AND WASTEWATER MAINS SHALL MAINTAIN A MINIMUM 10 FEET HORIZONTAL AND 1.5 FOOT VERTICAL SEPARATION.
  - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FOR POTABLE WATER MAINS, WASTEWATER FORCE MAINS, AND RECLAIMED WATER MAINS, AND 15 FEET FOR GRAVITY WASTEWATER MAINS SHALL BE PROVIDED AND MAINTAINED FROM BUILDINGS, TRANSFORMERS AND ALL PERMANENT STRUCTURES. SERVICE LATERALS REQUIRE 5 FEET LESS CLEARANCE FOR EACH OF THE UTILITIES; NOTE THAT WATER SERVICE LATERALS SHALL BE INSTALLED WITHIN 3" SLEEVES. (SEE APPENDIX C OF GRU'S DESIGN STANDARDS AND CONSTRUCTION DETAILS FOR POTABLE WATER, WASTEWATER, AND RECLAIMED WATER - HORIZONTAL SEPARATION DISTANCES FOR PARALLEL AND PERPENDICULAR CLEARANCE FROM OTHER OBJECTS TABLE.)
  - POTABLE WATER SERVICES, REQUIRING A SEPARATE WATER METER, SHALL BE PROVIDED TO EACH LOT, BUILDING OR PARCEL. EFFECTIVE OCTOBER 1, 2007, FOR COMMERCIAL, MULTIFAMILY, AND INSTITUTIONAL DEVELOPMENTS, THE DEVELOPER SHALL BE RESPONSIBLE FOR INSTALLING POTABLE WATER SERVICES AND YOKE ASSEMBLY PACKAGE UP TO AND INCLUDING THE METER YOKE, BOX (INSTALLED AT FINAL GRADE) AND ASSOCIATED APPURTENANCES, FOR METERS 1" AND SMALLER (SEE GRU W/WW/R/W CONSTRUCTION DETAIL W-8.0), WITH A ONE-YEAR WARRANTY.
  - 2" VALVES LOCATED IN PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE GRU APPROVED CAST IRON, RESILIENT SEAT GATE VALVES WITH STANDARD 2" OPERATING NUT, THREADED WITH BRASS NIPPLE BETWEEN THE VALVES AND TAPPING SADDLE OR TAPPED TEE.
  - WATER MAINS 4" IN DIAMETER AND GREATER, PLACED UNDER ROADWAYS, SHALL BE CEMENT LINED DUCTILE IRON PIPE (CLDIP) EXTENDING 5 FEET PAST THE BACK OF CURB (3 FEET WITHIN CITY OF GAINESVILLE LIMITS) TRACER WIRE INSTALLED ON PVC WATER MAINS SHALL CONTINUE ACROSS THE CLDIP SECTIONS.
  - 1" OR 2" WATER SERVICE CROSSINGS LOCATED UNDER ROADWAYS SHALL BE ENCASED IN 3" SCH 40 PVC EXTENDING 5' PAST THE BACK OF CURB (3' INSIDE CITY OF GAINESVILLE LIMITS).
  - ANCHORING TEES, COUPLINGS, AND BENDS SHALL BE USED ON ALL FIRE HYDRANT ASSEMBLIES.
  - ALL PRESSURIZED MAIN FITTINGS SHALL BE MECHANICAL JOINT WITH RESTRAINED JOINT GLANDS; A SUFFICIENT LENGTH OF THE PIPE CONNECTED TO THE FITTINGS SHALL BE MECHANICALLY RESTRAINED TO PROVIDE REACTION AS SPECIFIED ON THE RESTRAINED JOINT STANDARD IN THE CONSTRUCTION DETAILS OF THE GRU STANDARDS (W-2.8 & 2.9, RCW-2.8 & 2.9, AND WW-2.4 & 2.5). CALCULATIONS FOR REQUIRED RESTRAINT LENGTH MUST BE PROVIDED IF THE SPECIFIED RESTRAINT LENGTH, DUE TO SOIL TYPE OR DEPTH OF COVER, DIFFERS FROM THOSE PROVIDED ON THESE DETAILS.
  - ALL SANITARY WASTEWATER SERVICE LATERALS SHALL BE MIN. 4" DIAMETER PVC (SDR 26) AT 1.00% MIN. SLOPE UNLESS OTHERWISE LABELED.
  - WASTEWATER CLEANOUT COVERS LOCATED WITHIN PAVEMENT AND SIDEWALKS SHALL BE RATED FOR TRAFFIC LOAD BEARING.
  - MANHOLES WHICH ARE NOT INSTALLED UNDER PAVEMENT SHALL HAVE A RIM ELEVATION AT LEAST 6" ABOVE FINISHED GRADE, AND A 10:1 SLOPE TO FINISHED GRADE.
  - UNLESS OTHERWISE NOTED ON THE PLANS, THE FINISHED FLOOR ELEVATIONS OF BUILDINGS SHALL BE A MINIMUM OF 6" ABOVE THE LOWEST UPSTREAM MANHOLE TOP. IF THIS IS INFEASIBLE, A WASTEWATER SERVICE LATERAL BACKWATER VALVE (BWV) IS REQUIRED ON THE CUSTOMER SIDE OF CLEANOUT.
  - WHEN A POTABLE OR RECLAIMED WATER MAIN, OR A WASTEWATER FORCE MAIN IS ROUTED WITHIN 10 FT. OF AN ELECTRIC TRANSFORMER, A 20 FT. LENGTH OF DIP SHALL BE CENTERED ON THE TRANSFORMER WITH MECHANICAL RESTRAINT AT EACH END. NO FITTINGS OR VALVES SHALL OCCUR WITHIN 10 FT. OF THE NEAREST EDGE OF THE TRANSFORMER. A MINIMUM CLEARANCE OF 3" SHALL BE MAINTAINED BETWEEN THE MAIN AND THE TRANSFORMER.
  - A/C CONDENSATE SHALL NOT FLOW INTO WASTEWATER SYSTEM.
  - CONTACT 811 PRIOR TO ANY EXCAVATION WORK.
  - CONTRACTOR SHALL CONTACT TINA DROSE WITH THE CITY OF TALLAHASSEE ELECTRIC UTILITY DEPARTMENT @ (850) 891-5016 TO COORDINATE ELECTRIC SERVICE FOR THIS DEVELOPMENT.
  - FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT.

### WATER FITTING SCHEDULE

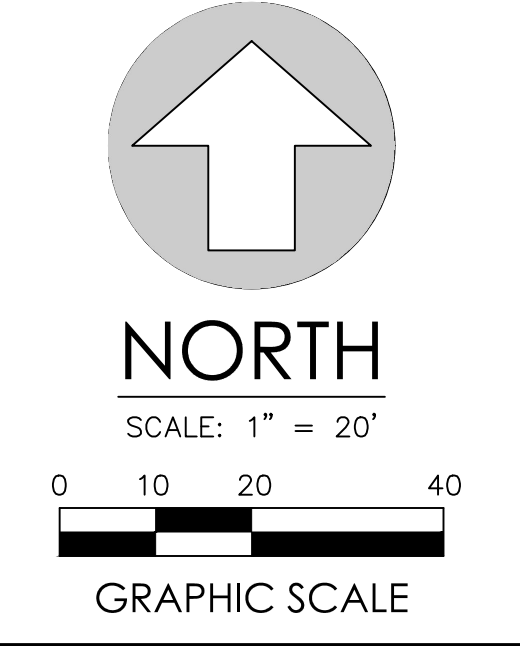
KEY	ASSEMBLY
1	CONNECT PROPOSED 2" PVC WATER LINE TO EXISTING WATER MAIN STUBOUT
2	CONNECT PROPOSED 3" PVC FIRE LINE TO EXISTING FIRE LINE STUBOUT
3	1 - 2" PVC 45° BEND
4	1 - 3" DIP 45° BEND
5	1 - 2" PVC 90° BEND
6	1 - 3" PVC 90° BEND
7	CONNECT PROPOSED 6" PVC FIRE LINE TO EXISTING FIRE LINE STUBOUT 1 - 6" TAP AND VALVE 1 - 6" PVC 90° BEND 1 - 6" FIRE HYDRANT ASSEMBLY

### LEGEND

	SILT FENCE
	TREE BARRICADE
	LIMITS OF ASPHALT PAVEMENT
	LIMITS OF CONCRETE PAVEMENT AND SIDEWALKS
	LIMITS OF PERVIOUS CONCRETE
	EXISTING TREE TO REMAIN
	EXISTING CONTOUR ELEVATION
	PROPOSED CONTOUR ELEVATION



EB 2389  
 720 S.W. 2nd Ave, South Tower, Suite 300  
 GAINESVILLE, FLORIDA 32601  
 TEL. (352) 373-3541  
 www.edafl.com mail@edafll.com



No.	Date	Comment

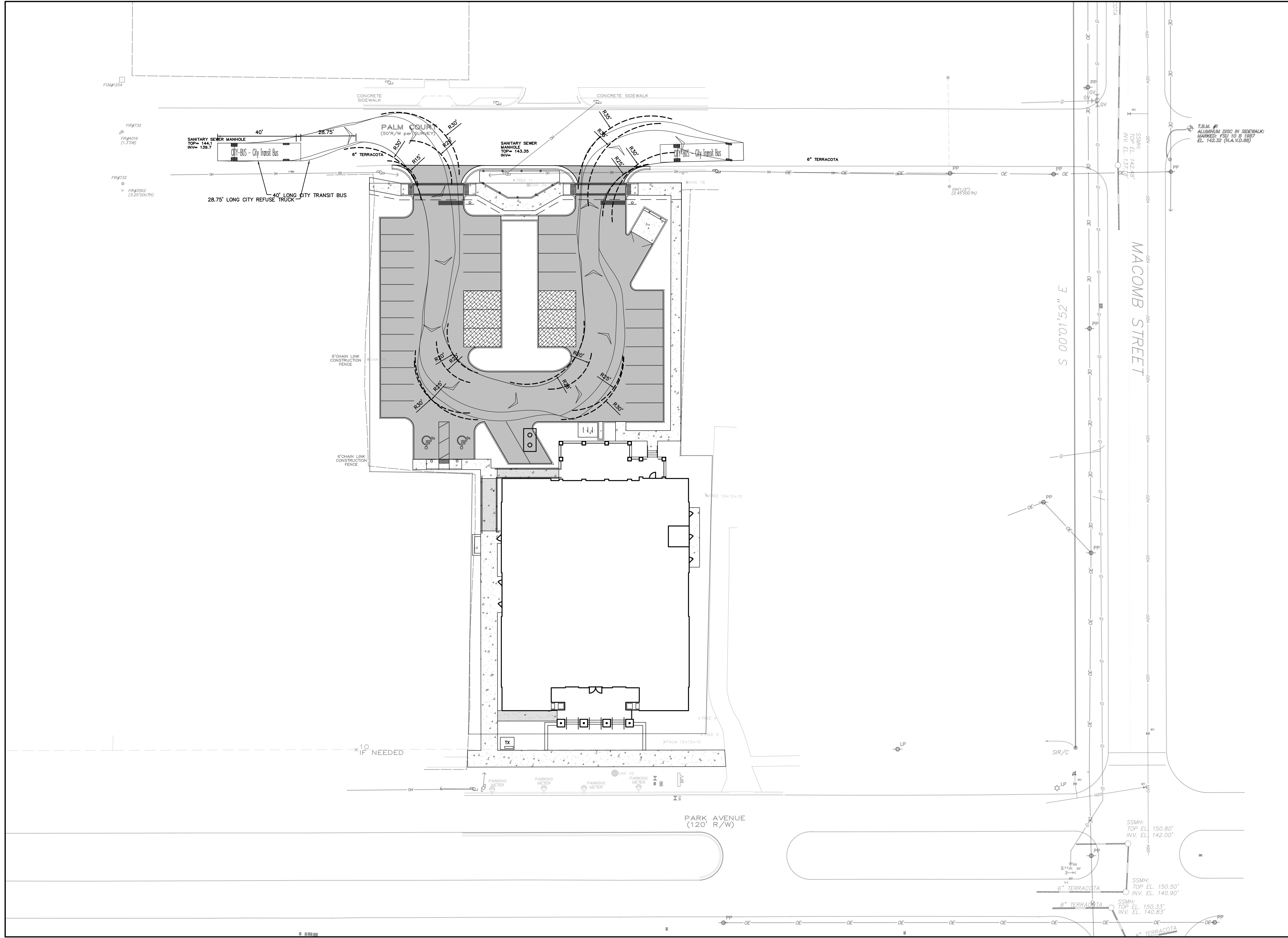
Professional Engineer of Record:  
 Claudia S. Vega, P.E. 51532  
 Engineer Certificate No.  
 Project No: 2021-0082

Project phase: CONSTRUCTION PLANS  
 Project title: ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

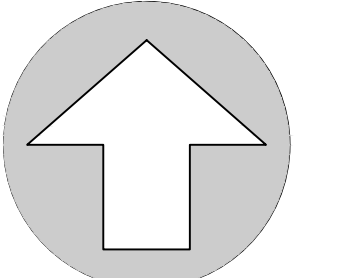
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 Designed: CSV Sheet No.: C400  
 Drawn: JAB  
 Checked: DJM  
 Date: 03/15/23



\\SERVER3\eng\projects\2021-0082 - AXO Florida State - 518 W. Park Avenue Tallahassee - Treanor\Plans\Current DWG\A21082L1.dwg, C500-CITY BUS EXHIBIT, 3/17/2023 10:38:18 AM, TAR

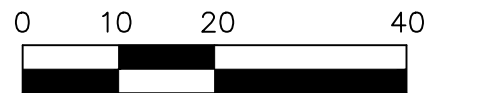


EB 2389  
720 S.W. 2nd Ave, South Tower, Suite 300  
GAINESVILLE, FLORIDA 32601  
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**NORTH**

SCALE: 1" = 20'



GRAPHIC SCALE

No.	Date	Comment

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Professional Engineer of Record:

Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 2021-0082

Project phase: CONSTRUCTION PLANS

Project title:

ALPHA CHI OMEGA  
SORORITY HOUSE  
TALLAHASSEE, FLORIDA

Sheet title:

TRUCK SIMULATION EXHIBIT

Designed: CSV Sheet No.:

Drawn: JAB

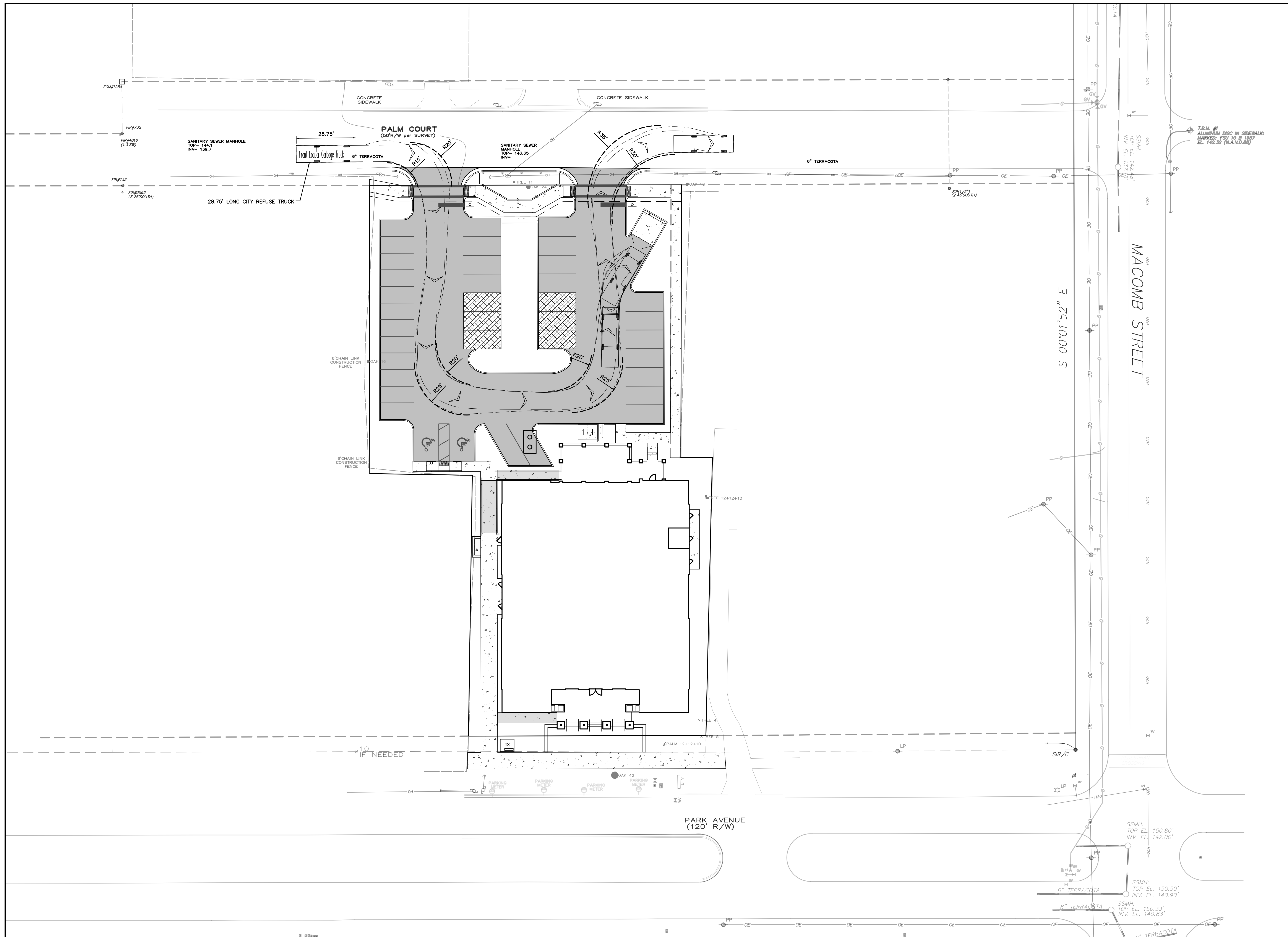
Checked: DJM

Date: 03/15/23

**C500**

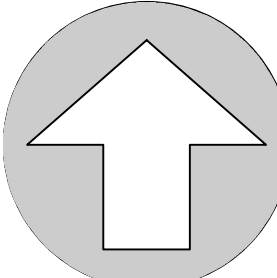



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Professional Engineer of Record:  
  
Claudia S. Vega, P.E. 51532  
Engineer Certificate No.

Project No: 21-082

Project phase: CONCEPTUAL

Project title: ALPHA CHI OMEGA SORORITY HOUSE TALLAHASSEE, FLORIDA

Sheet title: TRUCK SIMULATION EXHIBIT FRONT LOADER REFUSE TRUCK

Designed: CSV	Sheet No.:
Drawn: JB	C500
Checked: DJM	
Date: 03/17/22	