

CITY OF TALLAHASSEE
TYPE 'A' SITE PLAN APPLICATION
(TSP250008)
FOR
LOTS 6 & 7
OX BOTTOM MEADOWS COMMERCIAL
THOMASVILLE ROAD
PARCEL TAX ID: 14-28-21-000-0060 & 14-28-21-000-0070
TALLAHASSEE, FLORIDA

**SOUTHEASTERN
CONSULTING**



PROJECT NAME
**LOTS 6 & 7
OX BOTTOM MEADOWS COMMERCIAL**
 CLIENT NAME
RPJ PROPERTIES, LLC

INDEX OF SHEETS

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CONCEPT LANDSCAPE PLAN.....6.0

SIGHT DISTANCE TRIANGLES.....6.1

SITE DATA

TAX PARCEL ID #.....14-28-21-000-0060 & 14-28-21-000-0070

SITE AREA.....0.56 AC (LOT 6) AND 0.90 AC (LOT 7)

ZONING.....OX BOTTOM MEADOWS PUD

FUTURE LAND USE.....BRADFORDVILLE MIXED USE

EXISTING LAND USE.....VACANT

PROPOSED LAND USE.....GENERAL RETAIL / COMMERCIAL

SEWER, WATER & ELEC. UTILITY PROVIDER.....CITY OF TALLAHASSEE

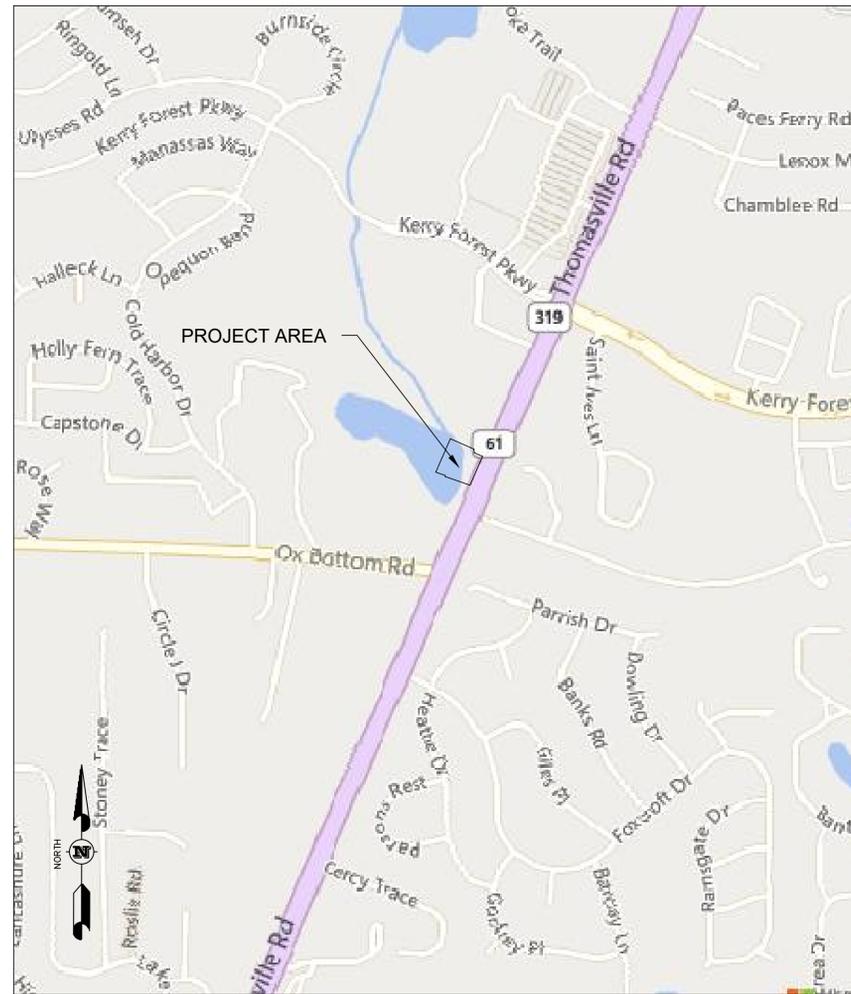
RIGHT OF WAY MAINTENANCE.....FDOT (THOMASVILLE ROAD)

ON-SITE SURVEY DATUM.....NAVD-88

GOVERNING CONSTRUCTION SPECIFICATIONS

CITY OF TALLAHASSEE TECHNICAL SPECIFICATION FOR WATER AND SEWER CONSTRUCTION - LATEST EDITION

FDOT STANDARD PLANS - FY 2023-24



PROJECT DATA

DEVELOPER:

RPJ PROPERTIES, LLC
 4708 CAPITAL CIRCLE NW
 TALLAHASSEE, FL 32303

PREPARED BY:

SOUTHEASTERN CONSULTING SERVICES LLC
 253 PINWOOD DRIVE
 TALLAHASSEE, FLORIDA 32303
 (850) 544 -6771

ENGINEER OF RECORD:

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 253 PINWOOD DRIVE
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JAMES T. RODDENBERRY, P.S.M.
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 125 SHELDON STREET
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 (850) 962-2538

REVISIONS

NO.	DATE	DESCRIPTION
1	02/13/25	TYPE 'A' SITE PLAN REVIEW

Ox Bottom Meadows Lots 6 & 7-SP

DATE 02/03/25

FILE #

CONTRACT #

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253 PINWOOD DRIVE
TALLAHASSEE, FL 32303
CERTIFICATE OF AUTHORIZATION NO. CA33182

SEAL
 EDWARD N. BASS, III, P.E.
 FL. REG. NO. 62949

PRELIMINARY, NOT FOR CONSTRUCTION

SHEET TITLE

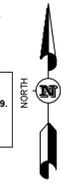
COVER SHEET

SHEET

1.0

0 20' 30' 40'
SCALE: 1"=20'

NOTE: PROPERTY IS LOCATED IN FEMA MAPPED ZONE 'A' PER FEMA PANEL NO. 120730134F, EFFECTIVE DATE 08/18/2009. HOWEVER A PENDING FEMA MAP AMENDMENT ESTABLISHES THE 100 YR BASE FLOOD ELEVATION AS 94.16.



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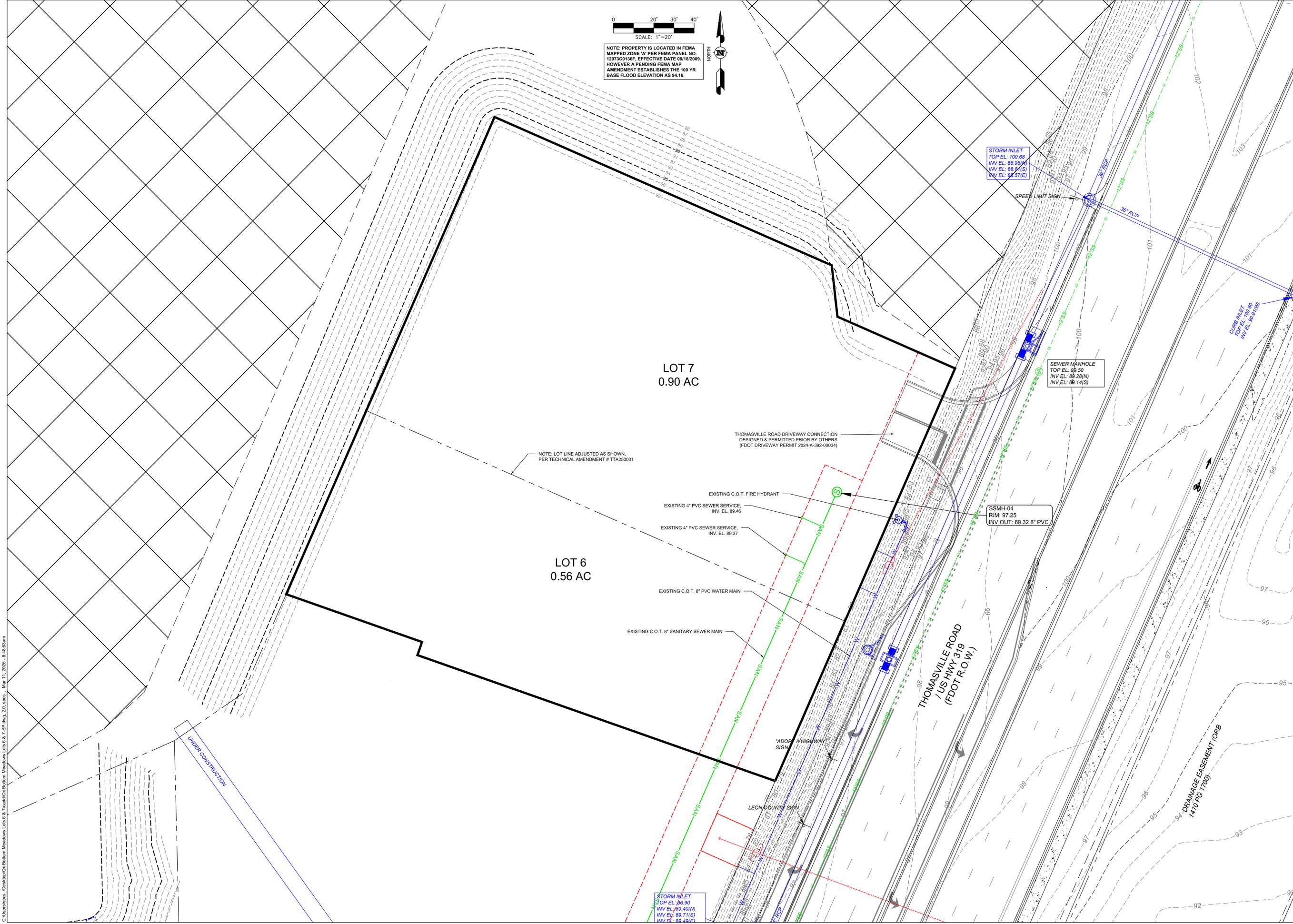
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SHEET TITLE

EXISTING CONDITIONS MAP

SHEET **2.0**



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SITE DATA

General Information

Property Tax ID #(s):	14-28-21-000-0060 & 14-28-21-000-0070
Site Address:	Thomasville Road
Zoning:	Ox Bottom Meadows PUD
Overlay / Transect (if any):	
Building Setbacks:	Required Provided
Front:	0 FT 70 FT
Rear:	0 FT 61 FT
Side Interior:	0 FT 70 FT & 129 FT
Side Corner:	0 FT N/A
Building Maximum Height:	3 Stories
Proposed Building Height:	1 Story
Existing Use(s):	Vacant
Proposed Use(s):	Commercial / Retail
Total Allotted SF For The PUD:	96,875 SF
Total Permitted SF To Date:	16,563 SF
Total Proposed SF:	6,083 SF
Total Remaining SF:	74,229 SF

Lot 6 Area Data

Total Site Area (AC):	0.56 AC
Proposed Building Area (GSF):	- SF 0%
Existing Impervious Area (SF):	0 SF 0%
Proposed Impervious Area (SF):	4,929 SF 20%
Building(s) Footprint:	- SF 0%
VUA:	4,782 SF 20%
Misc:	147 SF 1%

Lot 7 Area Data

Total Site Area (AC):	0.90 AC
Proposed Building Area (GSF):	6,083 SF 15%
Existing Impervious Area (SF):	0 SF 0%
Proposed Impervious Area (SF):	30,443 SF 77%
Building(s) Footprint:	6,083 SF 15%
VUA:	20,346 SF 52%
Misc:	4,014 SF 10%

Parking Data

Required Parking Spaces Per PUD:	
Number of regular spaces required:	12-61 spaces
Number of ADA spaces required:	1-2 spaces
Number of bicycle parking spaces required:	1-6 spaces
Total number of spaces required:	13-63 spaces
Proposed Parking Spaces:	
Number of regular spaces provided:	44 spaces
Number of ADA spaces provided:	2 spaces
Number of bicycle parking spaces provided:	4 spaces
Total number of spaces provided:	46 spaces

Landscape / Urban Forest Data

Redevelopment statistics:	
Redevelopment or New Development?	New Development
Type I area:	0 SF 0%
Type II area:	63,741 SF 100%
Lot 6 Interior VUA Landscape Islands required:	2 Islands
Lot 6 Interior VUA Landscape Islands provided:	1 Islands**
Lot 7 Interior VUA Landscape Islands required:	6 Islands
Lot 7 Interior VUA Landscape Islands provided:	6 Islands
Landscape Area required (SF):	15,935 SF 25%
Urban Forest Area required (SF):	6,374 SF 10%
Landscape Area provided (SF):	28,369 SF 45%
Urban Forest Area provided (SF):	N/A
Total Overall Green Space provided (SF):	28,369 SF 45%

**Off-site urban forest and green area provided within lots 6 & 9, Relat of Ox Bottom Meadows Phase 1B and Ox Bottom Crest Phase 1 & 1A, (TSD240005).

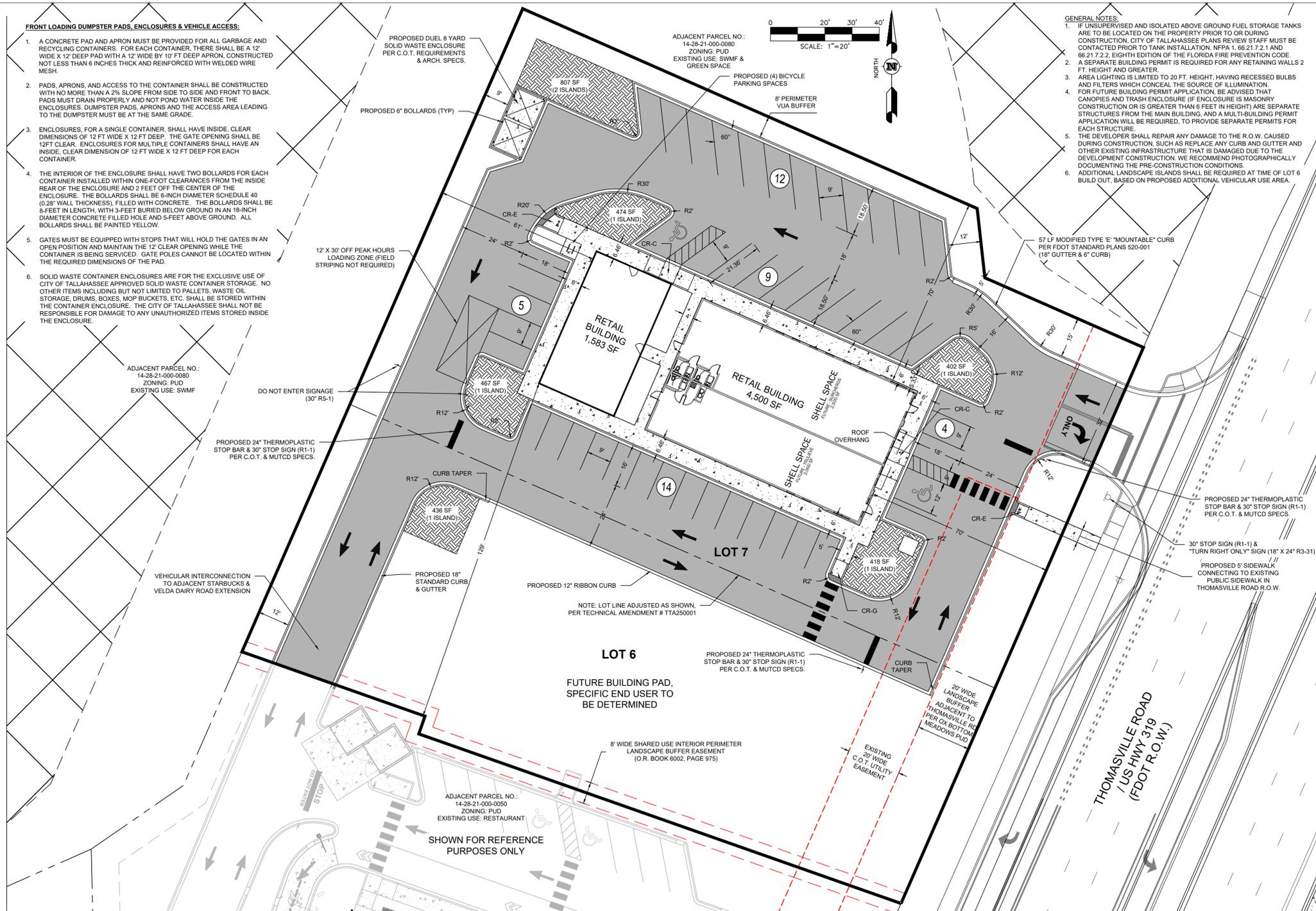
**Additional landscape islands shall be required at time of lot 6 build out, based on proposed additional vehicular use area.

LEGEND

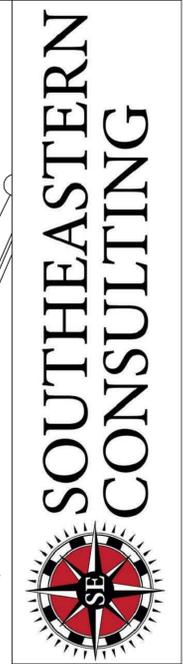
	STANDARD DUTY PAVEMENT
	RIGID CONCRETE PAVEMENT
	INTERIOR VUA LANDSCAPE ISLAND AREA

FRONT LOADING DUMPSTER PADS, ENCLOSURES & VEHICLE ACCESS:

- A CONCRETE PAD AND APRON MUST BE PROVIDED FOR ALL GARBAGE AND RECYCLING CONTAINERS. FOR EACH CONTAINER, THERE SHALL BE A 12' WIDE X 12' DEEP PAD WITH A 12' WIDE BY 10' DEEP APRON, CONSTRUCTED NOT LESS THAN 6 INCHES THICK AND REINFORCED WITH WELDED WIRE MESH.
- PADS, APRONS, AND ACCESS TO THE CONTAINER SHALL BE CONSTRUCTED WITH NO MORE THAN A 2% SLOPE FROM SIDE TO SIDE AND FRONT TO BACK. PADS MUST DRAIN PROPERLY AND NOT POND WATER INSIDE THE ENCLOSURES. DUMPSTER PADS, APRONS AND THE ACCESS AREA LEADING TO THE DUMPSTER MUST BE AT THE SAME GRADE.
- ENCLOSURES FOR A SINGLE CONTAINER, SHALL HAVE INSIDE, CLEAR DIMENSIONS OF 12 FT WIDE X 12 FT DEEP. THE GATE OPENING SHALL BE 12 FT CLEAR. ENCLOSURES FOR MULTIPLE CONTAINERS SHALL HAVE AN INSIDE, CLEAR DIMENSION OF 12 FT WIDE X 12 FT DEEP FOR EACH CONTAINER.
- THE INTERIOR OF THE ENCLOSURE SHALL HAVE TWO BOLLARDS FOR EACH CONTAINER INSTALLED WITHIN ONE-FOOT CLEARANCES FROM THE INSIDE REAR OF THE ENCLOSURE AND 2 FEET OFF THE CENTER OF THE ENCLOSURE. THE BOLLARDS SHALL BE 1/2" DIAMETER SCHEDULE 40 (0.28" WALL THICKNESS), FILLED WITH CONCRETE. THE BOLLARDS SHALL BE 8'-FEET IN LENGTH, WITH 3-FEET BURIED BELOW GROUND IN AN 18-INCH DIAMETER CONCRETE FILLED HOLE AND 5-FEET ABOVE GROUND. ALL BOLLARDS SHALL BE PAINTED YELLOW.
- GATES MUST BE EQUIPPED WITH STOPS THAT WILL HOLD THE GATES IN AN OPEN POSITION AND MAINTAIN THE 12' CLEAR OPENING WHILE THE CONTAINER IS BEING SERVICED. GATE POLES CANNOT BE LOCATED WITHIN THE REQUIRED DIMENSIONS OF THE PAD.
- SOLID WASTE CONTAINER ENCLOSURES ARE FOR THE EXCLUSIVE USE OF CITY OF TALLAHASSEE APPROVED SOLID WASTE CONTAINER STORAGE. NO OTHER ITEMS INCLUDING BUT NOT LIMITED TO PALLETS, WASTE OIL STORAGE, DRUMS, BOXES, MOP BUCKETS, ETC. SHALL BE STORED WITHIN THE CONTAINER ENCLOSURE. THE CITY OF TALLAHASSEE SHALL NOT BE RESPONSIBLE FOR DAMAGE TO ANY UNAUTHORIZED ITEMS STORED INSIDE THE ENCLOSURE.



- GENERAL NOTES:**
- IF UNSUPERVISED AND ISOLATED ABOVE GROUND FUEL STORAGE TANKS ARE TO BE LOCATED ON THE PROPERTY PRIOR TO OR DURING CONSTRUCTION, CITY OF TALLAHASSEE PLANS REVIEW STAFF MUST BE CONTACTED PRIOR TO TANK INSTALLATION. NFPA 1, 66.21.7.2.1 AND 66.21.7.2.2, EIGHTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
 - A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY RETAINING WALLS 2 FT. HEIGHT AND GREATER.
 - AREA LIGHTING IS LIMITED TO 20 FT. HEIGHT, HAVING RECESSED BULBS AND FILTERS WHICH CONCEAL THE SOURCE OF ILLUMINATION.
 - FOR FUTURE BUILDING PERMIT APPLICATION, BE ADVISED THAT CANOPIES AND TRASH ENCLOSURE (IF ENCLOSURE IS MASONRY CONSTRUCTION OR IS GREATER THAN 6 FEET IN HEIGHT) ARE SEPARATE STRUCTURES FROM THE MAIN BUILDING, AND A MULTI-BUILDING PERMIT APPLICATION WILL BE REQUIRED, TO PROVIDE SEPARATE PERMITS FOR EACH STRUCTURE.
 - THE DEVELOPER SHALL REPAIR ANY DAMAGE TO THE R.O.W. CAUSED DURING CONSTRUCTION, SUCH AS REPLACE ANY CURB AND GUTTER AND OTHER EXISTING INFRASTRUCTURE THAT IS DAMAGED DUE TO THE DEVELOPMENT CONSTRUCTION. WE RECOMMEND PHOTOGRAPHICALLY DOCUMENTING THE PRE-CONSTRUCTION CONDITIONS.
 - ADDITIONAL LANDSCAPE ISLANDS SHALL BE REQUIRED AT TIME OF LOT 6 BUILD OUT, BASED ON PROPOSED ADDITIONAL VEHICULAR USE AREA.



PROJECT NAME: LOTS 6 & 7, OX BOTTOM MEADOWS COMMERCIAL
 CLIENT NAME: RPJ PROPERTIES, LLC

REVISIONS

1	10/13/25	TYPE 'X' SITE PLAN REVIEW
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Ox Bottom Meadows Lots 6 & 7-SP

DATE: 02/03/25

FILE #

CONTRACT #

DRAWN BY

SEAL: EDWARD N. BASS, III, P.E., FL. REG. NO. 62949

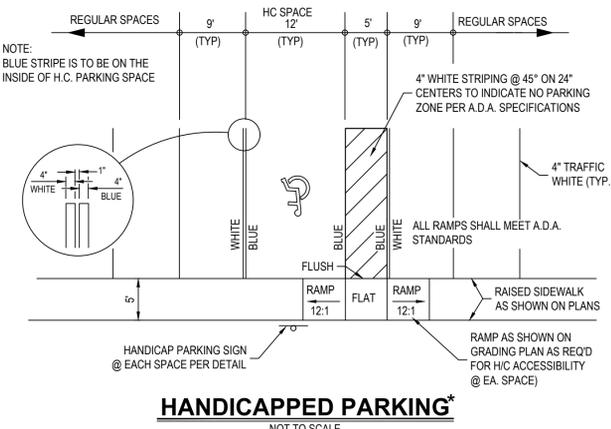
PRELIMINARY, NOT FOR CONSTRUCTION

SHEET TITLE: GEOMETRY PLAN

SHEET: 3.0

HANDICAP PARKING SIGNAGE DETAIL

NOT TO SCALE



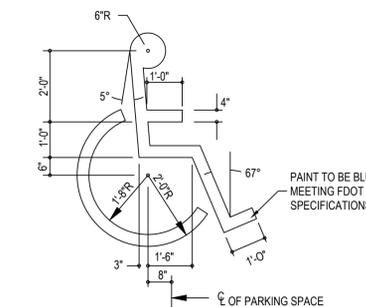
HANDICAPPED PARKING*

NOT TO SCALE

*NOTE: HANDICAPPED PARKING EXHIBIT IS INTENDED FOR STRIPING GUIDANCE ONLY. ACTUAL DESIGN MAY VARY. SEE GRADING PLAN AND GEOMETRY PLAN FOR SPECIFIC DESIGN CONDITIONS.

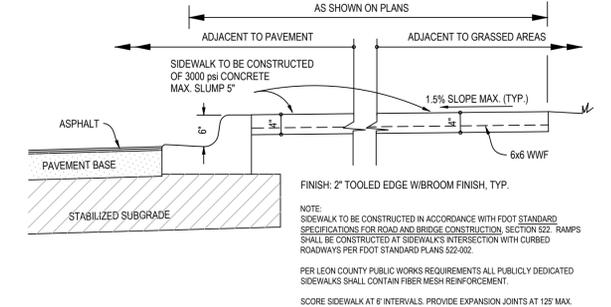
HANDICAPPED SYMBOL DETAIL

NOT TO SCALE



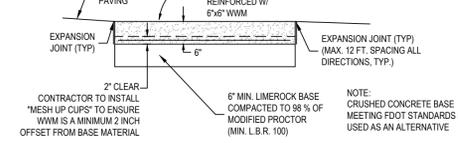
STANDARD SIDEWALK CONSTRUCTION DETAIL

NOT TO SCALE



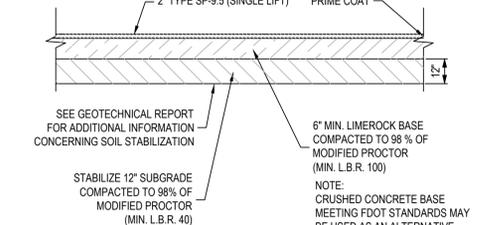
RIGID CONCRETE PAVEMENT DETAIL

NOT TO SCALE

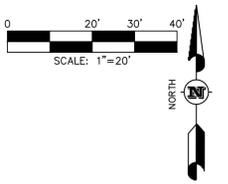
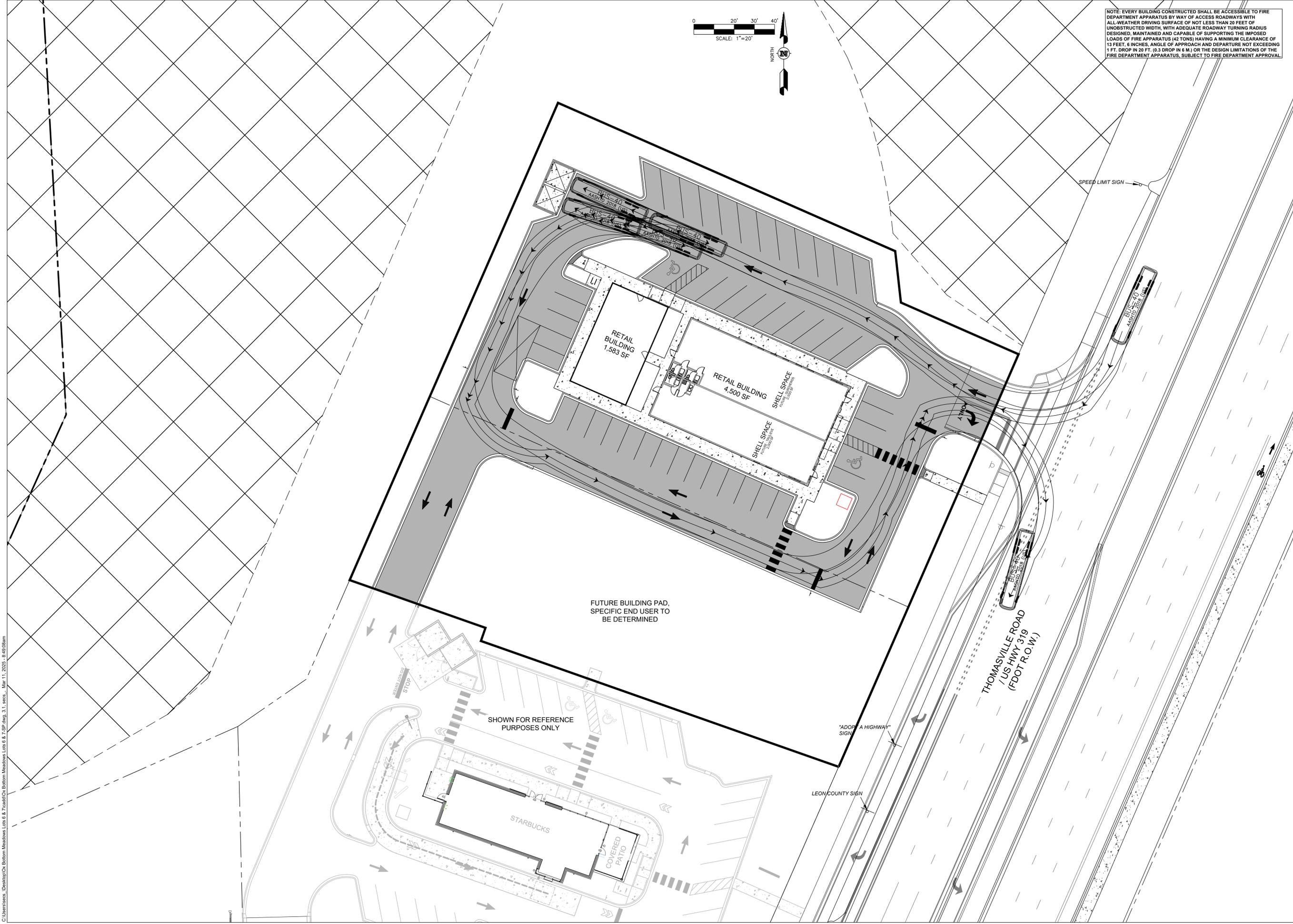


STANDARD ASPHALT PAVEMENT SECTION

NOT TO SCALE



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NOTE: EVERY BUILDING CONSTRUCTED SHALL BE ACCESSIBLE TO FIRE DEPARTMENT APPARATUS BY WAY OF ACCESS ROADWAYS WITH ALL-WEATHER DRIVING SURFACE OF NOT LESS THAN 20 FEET OF UNOBSTRUCTED WIDTH, WITH ADEQUATE ROADWAY TURNING RADIUS DESIGNED, MAINTAINED AND CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS (42 TONS) HAVING A MINIMUM CLEARANCE OF 13 FEET, 6 INCHES. ANGLE OF APPROACH AND DEPARTURE NOT EXCEEDING 1 FT. DROP IN 20 FT. (0.3 DROP IN 6 M.) OR THE DESIGN LIMITATIONS OF THE FIRE DEPARTMENT APPARATUS, SUBJECT TO FIRE DEPARTMENT APPROVAL.



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**LOTS 6 & 7
 OX BOTTOM MEADOWS COMMERCIAL**

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RPJ PROPERTIES, LLC

REVISIONS	DATE	DESCRIPTION
1	02/13/25	TYPE 'A' SITE PLAN REVIEW

Ox Bottom Meadows Lots 6 & 7-SP

DATE 02/03/25

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253 PINEWOOD DRIVE
 TALLAHASSEE, FL 32303
 CERTIFICATE OF AUTHORIZATION NO. CA33182

SEAL
EDWARD N. BASS, III, P.E.
 FL. REG. NO. 62949

PRELIMINARY, NOT FOR CONSTRUCTION

SHEET TITLE
**BUS-40
 TURNING MOVEMENT
 PLAN**

SHEET
3.1

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CONTRACTOR NOTICE 2023 (effective December 31, 2023)

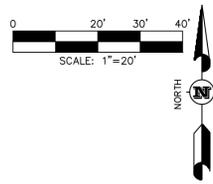
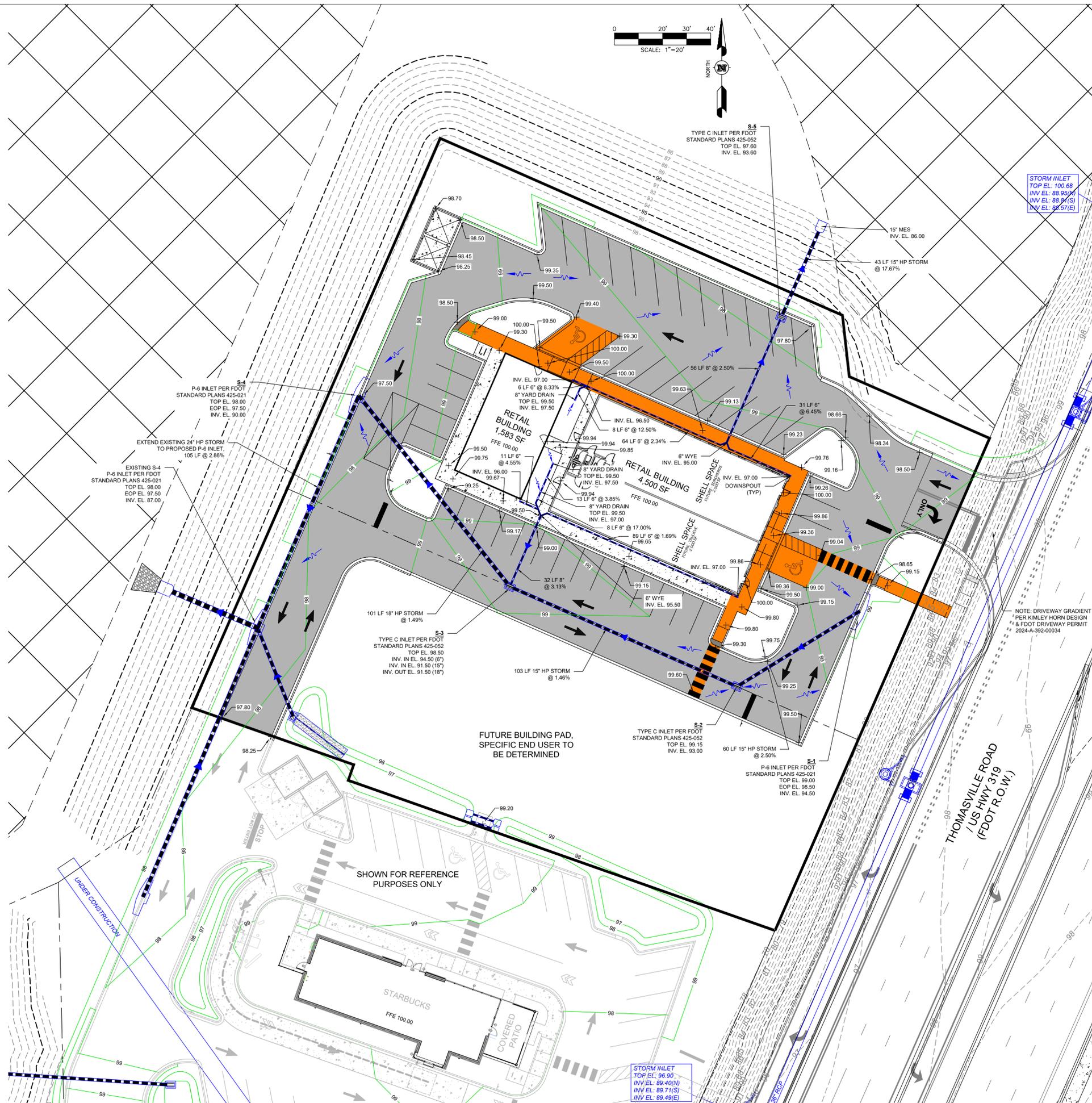
The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2023 Florida Building Code, Accessibility, 8th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A & FBC-B. The following items take precedence and supersede other site details on drawings:

1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3 & §502.3, FBC-A and F.S. 553.5041. -
2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §502.3.1 FBC-A & F.S. 553.5041(5)(b). -
3. ACCESSIBLE PARKING spaces shall be 12 ft wide & outlined with blue paint. §502.2 & §502.6 FBC-A,
4. ACCESS AISLES required adjacent to parking spaces shall be 5 ft wide with diagonal striping. §502.3.1, FBC-A
5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1:48) on a stable, firm & slip resistant surface. Re: §302.1 & §502.4, FBC-A
6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a *minimum 60 inches* from the ground to the bottom of the sign(s). Re: §502.6 FBC-A and F.S. 553.5041.
7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406, FBC-A
8. CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A
9. ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FAC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7, FBC-A.
10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. *Maximum rise of a ramp run is 30 inches on an accessible route.* Re: §1012.8 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope unless ramps with proper handrails & handrail extensions are provided AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.

*EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A

NOTE: PROPERTY IS LOCATED IN FEMA MAPPED ZONE 'A' PER FEMA PANEL NO. 12073C0136F, EFFECTIVE DATE 08/18/2009. HOWEVER A PENDING FEMA MAP AMENDMENT ESTABLISHES THE 100 YR BASE FLOOD ELEVATION AS 94.16.

DESIGNATED ADA COMPLIANT ROUTE



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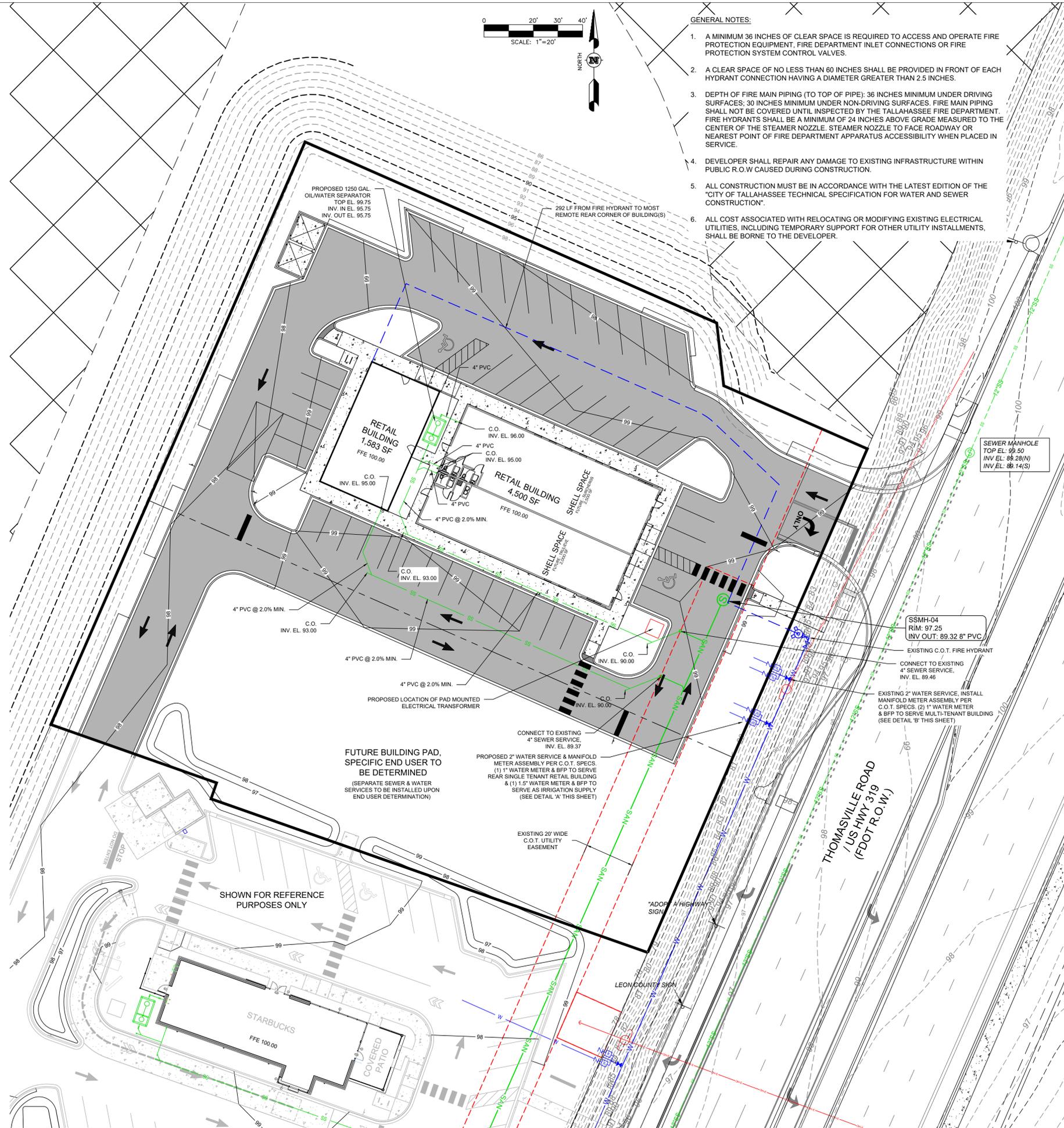
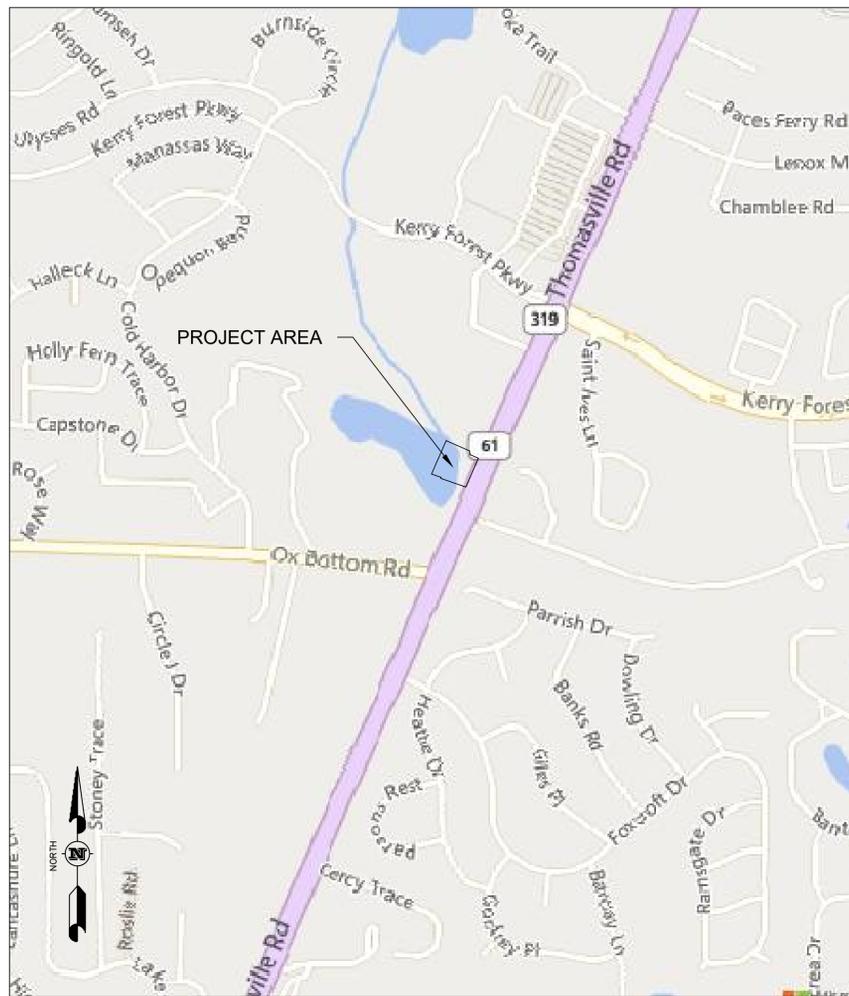
Ox Bottom Meadows Lots 6 & 7-SP
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SHEET TITLE: GRADING PLAN
SHEET: 4.0



- GENERAL NOTES:**
1. A MINIMUM 36 INCHES OF CLEAR SPACE IS REQUIRED TO ACCESS AND OPERATE FIRE PROTECTION EQUIPMENT, FIRE DEPARTMENT INLET CONNECTIONS OR FIRE PROTECTION SYSTEM CONTROL VALVES.
 2. A CLEAR SPACE OF NO LESS THAN 60 INCHES SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2.5 INCHES.
 3. DEPTH OF FIRE MAIN PIPING (TO TOP OF PIPE): 36 INCHES MINIMUM UNDER DRIVING SURFACES; 30 INCHES MINIMUM UNDER NON-DRIVING SURFACES. FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT. FIRE HYDRANTS SHALL BE A MINIMUM OF 24 INCHES ABOVE GRADE MEASURED TO THE CENTER OF THE STEAMER NOZZLE. STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE.
 4. DEVELOPER SHALL REPAIR ANY DAMAGE TO EXISTING INFRASTRUCTURE WITHIN PUBLIC R.O.W CAUSED DURING CONSTRUCTION.
 5. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE 'CITY OF TALLAHASSEE TECHNICAL SPECIFICATION FOR WATER AND SEWER CONSTRUCTION'.
 6. ALL COST ASSOCIATED WITH RELOCATING OR MODIFYING EXISTING ELECTRICAL UTILITIES, INCLUDING TEMPORARY SUPPORT FOR OTHER UTILITY INSTALLMENTS, SHALL BE BORNE TO THE DEVELOPER.

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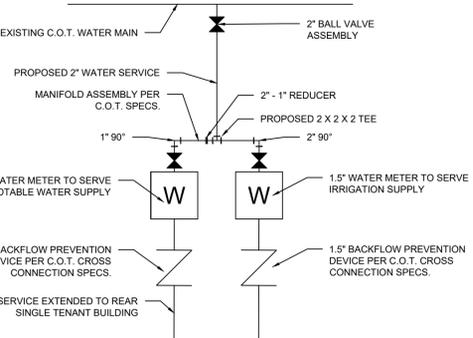
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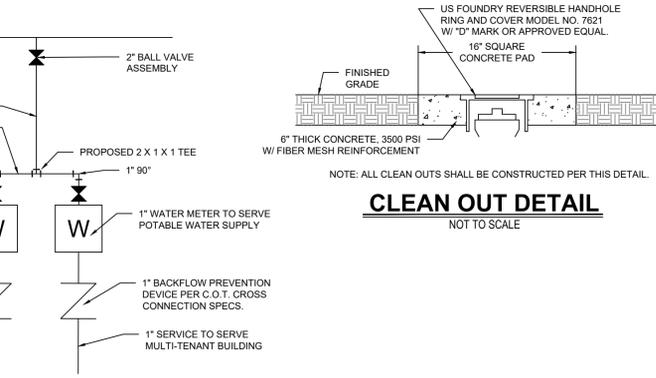
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SHEET TITLE
UTILITY SERVICES PLAN

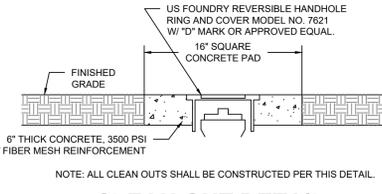
SHEET
5.0



WATER DISTRIBUTION DETAIL 'A'
NOT TO SCALE



WATER DISTRIBUTION DETAIL 'B'
NOT TO SCALE



CLEAN OUT DETAIL
NOT TO SCALE

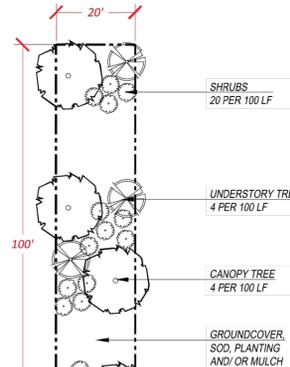
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Ox Bottom Meadows PUD

Proposed 20FT Width Buffer for Arterial Collector Frontage - Typical 100-FT Segment Plan
Scale: 1" = 16' (below)

DESCRIPTION OF BUFFER PLANTING COMPONENTS

Canopy Trees - 4 per 100 LF - Recommended Trees - Live Oak, Nuttall Oak, Shumard Oak, Red Maple, Tulip Poplar, Drake Elm, etc.
Understory Trees - 4 per 100 LF - Recommended Trees - Dogwood, Redbud, Chickasaw Plum, Sycamore Magnolia, etc.
Woody Broad-Leafed Evergreen Shrubs - 20 per 100 LF - Ocala Anise, Walter's Viburnum, Indica Azalea, etc.
Groundcover - Native grasses, Turf Grass Lawn, Spreading Groundcover Plants and/or Organic Mulch - Zoysia Turf Grass, Purple Love Grass, Dwarf Fakahatchee Grass, Asiatic Jasmine, Pinestraw Mulch, Hardwood Mulch, etc.



MAINTENANCE OBJECTIVES: THE OVERARCHING OBJECTIVES ARE TO ENSURE THE CONTINUED HEALTH AND VIGOR OF THE TREES, SHRUBS, GRASSES AND GROUNDCOVERS AND TO ENSURE THE VISIBILITY INTO THE PROPERTY BY MEANS OF APPROPRIATE PRUNING, THINNING AND MANAGEMENT OF THE PLANTS.

- PRUNING** | plants shall be pruned regularly to remove all broken, dead and diseased limbs, any cross-rubbing wood, suckers and water sprouts. In addition, pruning of the lower limbs of the canopy and understory trees shall be performed to "lift" the canopy to height necessary to ensure visual access into the site under the trees by motorists, pedestrians and cyclists from the arterial collector road and sidewalks along the property's frontage. Any significant pruning should be performed in late winter or early spring; do not remove more than 25% of a live tree crown in a single year; do not prune when the flush of new spring leaves is forming; do not prune branches with a flush cut, but instead cut to the outside of the branch collar. All pruning cuts shall be clean and free of any paints or sealers. Spring flowering shrubs shall be pruned immediately after spring blooming; summer flowering shrubs shall be pruned in late winter; avoid excessive "shearing" of shrubs, which promotes unhealthy growth conditions. Prune shrubs in the spring and summer by alternating heading back and shearing techniques. Minimize fall pruning as this encourages new growth, which is susceptible to cold damage. Hedges shall be trimmed so that the bottom is wider than the top. Shrubs shall be pruned no less than, but not limited to the required height of the situation for which it is being utilized, i.e., perimeter shrub at minimum 30", sight-triangle height of no higher than 2.5 feet, or any other visual height requirements. Maintain the size and proportion of plants to each other and the surrounding landscape.
 - FERTILIZER** | application of fertilizer shall comply with the Leon County fertilizer ordinance. Fertilizer may be applied in the spring and fall (use low nitrogen in the fall), in the spring broadcast 15-5-15 fertilizer over the area of root growth at a rate of six (6) pounds per 1,000 square feet; in the fall broadcast 15-5-15, 5-5-20, 5-0-15 or 5-0-20 fertilizer over the area of root growth at a rate of ten (10) pounds per 1,000 square feet. Use a granular, non-burning product, with micronutrients and half of the nitrogen is to be in a slow-release form. For azaleas, camellias, gardenias, and dogwoods, use a specific, acid-rich formula. For palms use special palm fertilizers which contain equivalent rates of nitrogen and potassium, micronutrients and additional magnesium. Fertilizer shall be applied per manufacturer's instructions. Nutrient absorption will be affected by soil pH. Specific evaluation of this nutrient/pH relationship may be necessary if plant performance is low. (note: fertilizer shall not be used for installation or maintenance of plantings located within county right-of-way or located within the stormwater management facilities).
 - PEST CONTROL** | pest control shall only be applied, as necessary, an integrated pest management system for establishing a healthy environment for proper growth conditions is the preferred method for pest control. Non-toxic horticultural oil is recommended. Apply a broad-spectrum foliar herbicide to mulched areas as needed by spot spraying. Apply pre-emergent foliar herbicide spray to lawns in late winter and post-emergent foliar herbicide spray to lawns in early spring.
 - MOWING** | mow turf to a consistent height of 1.5"-2" for zoysia grass 2-3" for centipede and 3-4" for St. Augustine at a minimum of two-week intervals during growing season. Use a mulching mower to recycle nutrients. De-thatching and aeration may be performed every 2-3 years or as needed.
 - WATERING** | the minimum watering schedule for newly planted material shall be equivalent to a minimum of 1" of rainfall per week. Water should be applied in the early morning hours. Water regularly for two years or until established. Deep, infrequent soakings, which allow the soil moisture to drain, is the watering method preferred for established plants. This type of soaking will encourage a deep root system, which will enable the plants to withstand periods of drought.
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GENERAL NOTES:

- A MINIMUM 36 INCHES OF CLEAR SPACE IS REQUIRED TO ACCESS AND OPERATE FIRE PROTECTION EQUIPMENT, FIRE DEPARTMENT INLET CONNECTIONS OR FIRE PROTECTION SYSTEM INLET CONTROL VALVES.
- A CLEAR SPACE OF NO LESS THAN 60 INCHES SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2.5 INCHES.
- ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "CITY OF TALLAHASSEE TECHNICAL SPECIFICATION FOR WATER AND SEWER CONSTRUCTION".
- A MINIMUM OF (3) 2" CALIPER SHADE TREES, OR (2) 3" CALIPER, SHALL BE PLANTED WITHIN EACH DESIGNATED INTERIOR VEHICULAR USE LANDSCAPE ISLAND.
- PERIMETER VUA BUFFERING AS SHOWN INCLUDES SHRUBS 3 FEET ON CENTER, AND 75/25 CANOPY / UNDERSTORY TREES ON 18 FEET CENTERS AVERAGE.
- 20' BUFFER PLANTINGS ADJACENT TO THOMASVILLE ROAD SHALL MEET CITY OF TALLAHASSEE ELECTRIC UTILITY APPROVED TREE SPECIES LIST, DUE TO ADJACENT OVERHEAD LINES.

UB 24-2 Specifications 24" DeepRoot® Tree Root Barrier

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

A. Materials
1. The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be either product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).

2. Root barrier shall be recyclable, black, injection molded panels with 0.80" (20.3 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.

3. Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.

4. Root barrier shall be comprised of 24" (60.96 cm) panels. Each panel shall have no less than four (4) Molded Integral Vertical Root Directing Ribs of a minimum 0.075" (1.90 mm) thickness, protruding 1/2" (12.7 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & D)

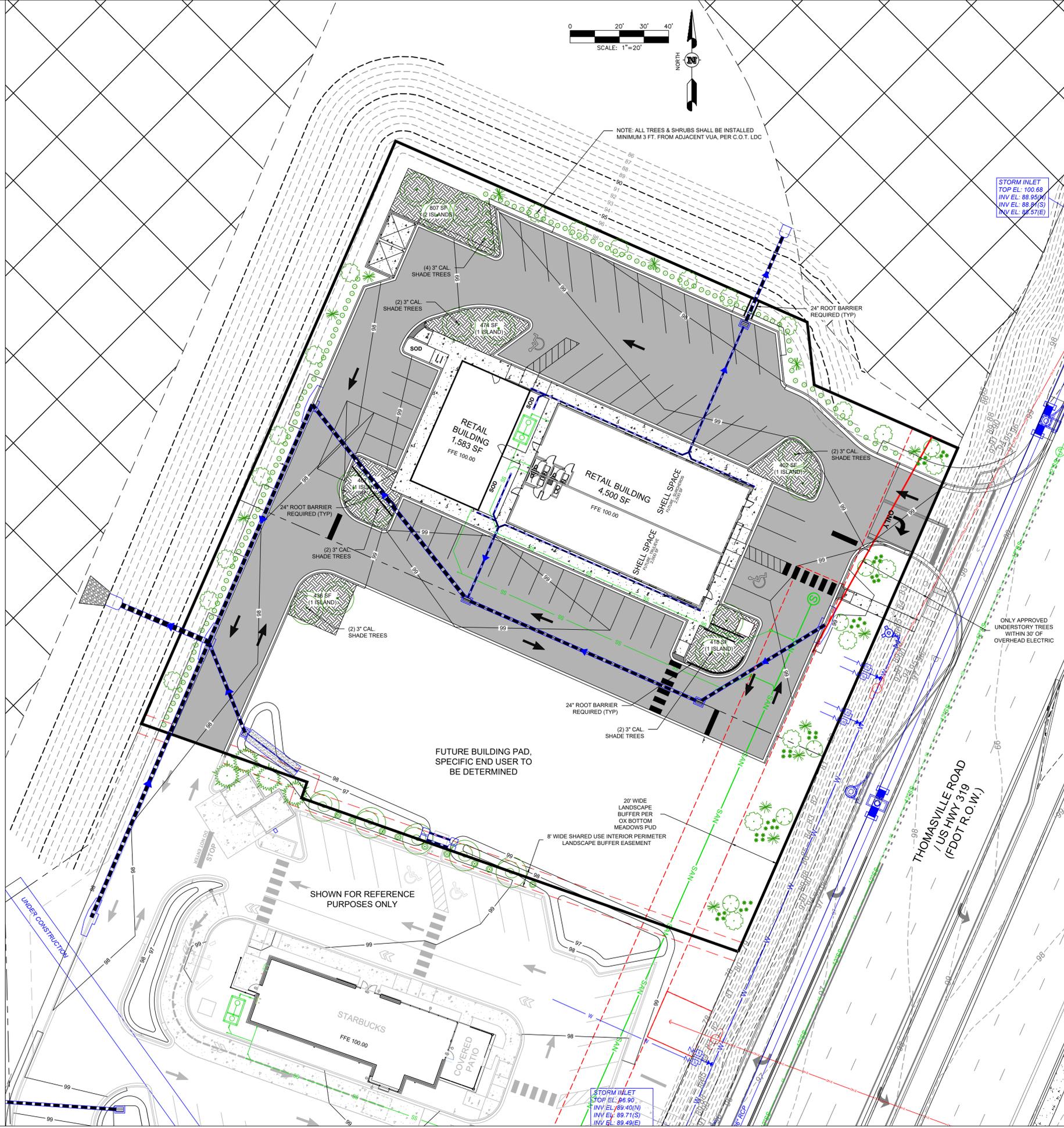
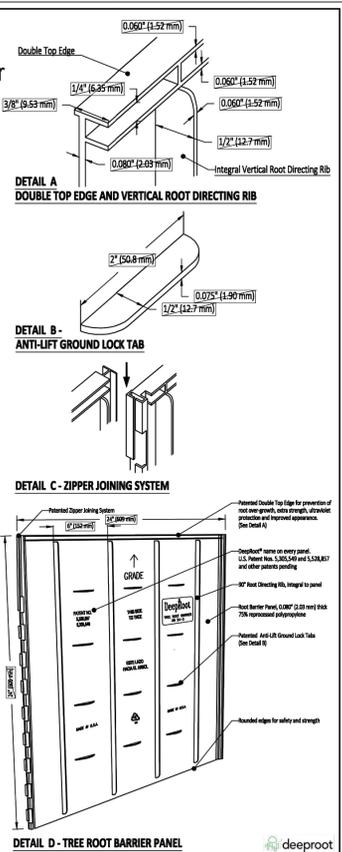
5. Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.060" (1.52 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).

6. Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness in the shape of a segment of an oblong, the 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (Four (4) between each set of ribs, see Details B & D).

7. Root barrier shall have an Integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).

U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,845 PSI	D638
Yield Elongation - Wall	7.44%	D638
Yield Elongation - Hinge	7.01%	D638
Flexural Modulus	119,635 PSI	D790B
Notched Izod Impact - Wall	3.84 (ft-lb)	D256A
Rockwell Hardness r. scale - Wall	84.4	D785A



PROJECT NAME
LOTS 6 & 7
OX BOTTOM MEADOWS COMMERCIAL

CLIENT NAME
RPJ PROPERTIES, LLC

REVISIONS	DATE	DESCRIPTION
1	10/21/25	TYPE 'A' SITE PLAN REVIEW

Ox Bottom Meadows Lots 6 & 7-SP
DATE: 02/03/25
FILE #
CONTRACT #
DRAWN BY
The Drawing, Specifications and other documents prepared by Southeastern Consulting Services (SCS) for this Project are instruments of SCS's professional services. SCS shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.
253 PINEWOOD DRIVE
TALLAHASSEE, FL 32303
CERTIFICATE OF AUTHORIZATION NO. CA33182
SEAL
EDWARD N. BASS, III, P.E.
FL. REG. NO. 62949
PRELIMINARY, NOT FOR CONSTRUCTION

SHEET TITLE
CONCEPT LANDSCAPE PLAN
SHEET
6.0

