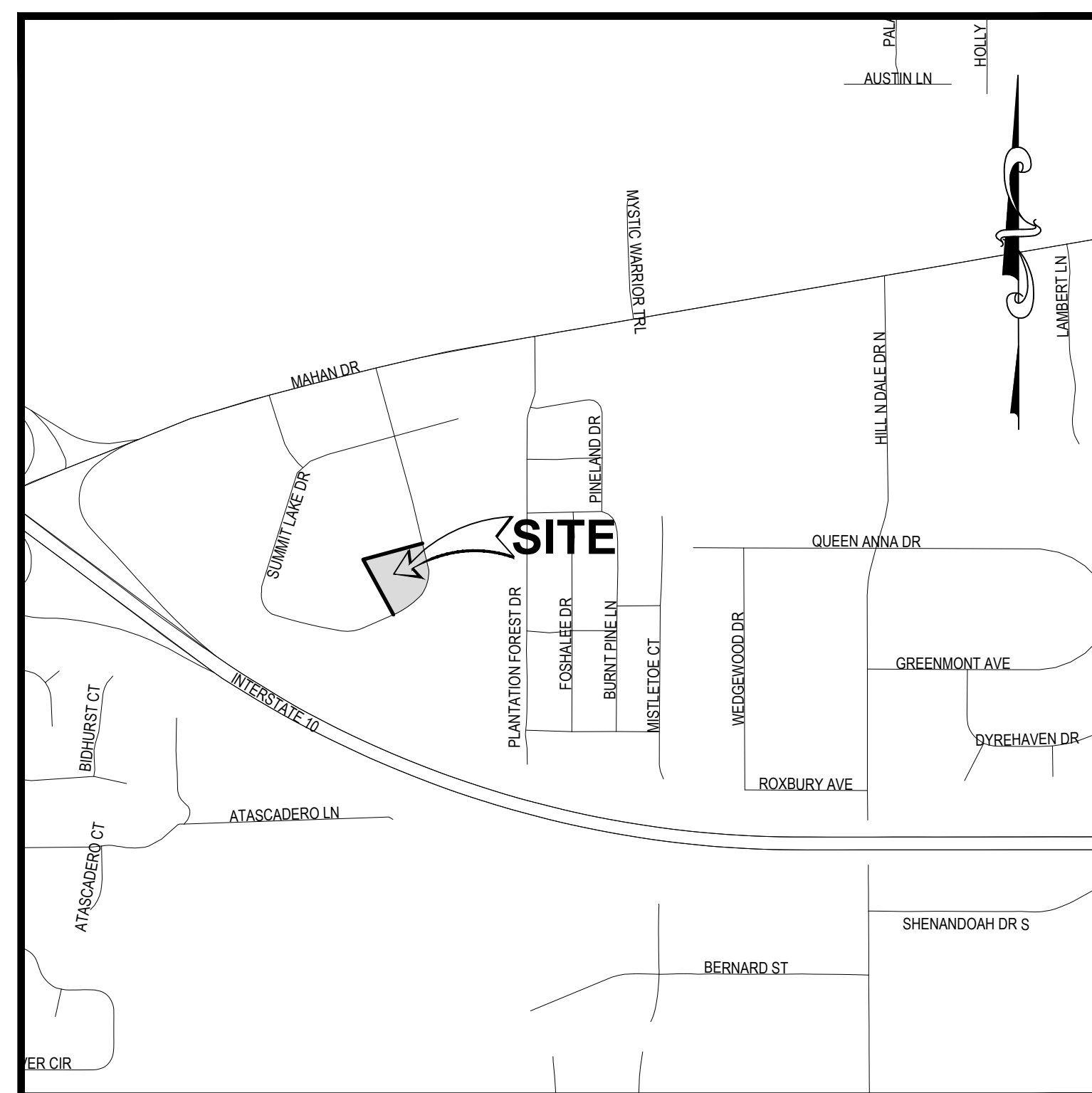


TYPE 'A' SITE PLAN

FOR

BING AT SUMMIT EAST - SPERRY

SHEET INDEX	
Sheet Number	Sheet Title
1.0	COVER SHEET
2.0	EXISTING CONDITIONS
3.0	GEOMETRY PLAN
3.1	CIRCULATION PLAN
3.2	SIGHT DISTANCE PLAN
3.3	SIGHT DISTANCE PROFILE (NORTH)
3.4	SIGHT DISTANCE PROFILE (SOUTH)
4.0	GRADING PLAN
5.0	CONCEPTUAL UTILITY SERVICE PLAN
LS1.0	CONCEPTUAL LANDSCAPE PLAN



LOCATION MAP
SCALE: 1" = 1000'

ELEVATIONS ARE BASED ON N.A.V.D. 88 DATUM.

DESIGN STANDARDS:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH F.D.O.T. STANDARD PLANS AND SPECIFICATIONS FY2025-2026 AND THE CURRENT CITY OF TALLAHASSEE MINIMUM STANDARDS, REQUIREMENTS AND SUPPLEMENTAL SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FY2025-2026

F.D.O.T. STANDARDS PLANS FOR ROAD CONSTRUCTION, FY2025-2026

F.D.O.T. MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS (GREEN BOOK)

CITY OF TALLAHASSEE RIGHT-OF-WAY MANAGEMENT MANUAL, CURRENT EDITION

CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF
WATER AND WASTEWATER FACILITIES, CURRENT EDITION

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD),
CURRENT EDITION

PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), CURRENT EDITION

PROJECT DATA	
TAX I.D. NO.	121727 D0010
PROJECT NAME:	MILLER PLUMBING AT SUMMIT EAST - SPERRY
CLIENT NAME:	SPERRY & ASSOCIATES, INC 4495 CAPITAL CIRCLE NW TALLAHASSEE, FL, 32303
PREPARED BY:	MOORE BASS CONSULTING, INC. 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
ENGINEER OF RECORD:	JESSICA GILLESPIE STATE OF FL, PROFESSIONAL ENGINEER, LICENSE No. 91621 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
SURVEYOR OF RECORD:	LARRY D. DAVIS REG FL SURVEYOR No. 5254 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678

UTILITY PROVIDERS

WATER / SANITARY SEWER
CITY OF TALLAHASSEE
PHONE: (850) 694-8007

TELECOMMUNICATIONS
COMCAST CABLE
PHONE: (850) 574-4060

TELECOMMUNICATIONS
CENTURY LINK
PHONE: (850) 599-1444

GAS
CITY OF TALLAHASSEE
PHONE: (850) 891-5135

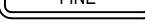
POWER
CITY OF TALLAHASSEE POWER -
DISTRIBUTION
PHONE: (850) 891-5019

TRAFFIC OPERATIONS
CITY OF TALLAHASSEE OPERATIONS
PHONE: (850) 891-2080

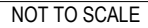


 Moore Bass Consulting, Inc.	
- Civil Engineering - Land Surveying - Development Consulting - Landscape Architecture - Environmental Permitting	
www.moorebass.com TALLAHASSEE • ATLANTA	
805 North Gadsden Street Tallahassee, FL 32303 850.222.5678	
PROJECT NAME MILLER PLUMBING AT SUMMIT EAST - SPERRY	CLIENT NAME SPERRY & ASSOCIATES, INC 449S CAPITAL CIRCLE NW TALLAHASSEE, FL, 32303
TO123.0049-Cover	
DATE 2025.08.13	
CONTRACT # TO123.0049	
DRAWN BY MBC	
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805 N. GADSDEN STREET TALLAHASSEE, FL 32303 CERTIFICATE OF AUTHORIZATION NO. 00000108	
SEAL Jessica Gillespie State of Florida, Professional Engineer, License No. 91621	
PRELIMINARY, NOT FOR CONSTRUCTION	
SHEET TITLE COVER SHEET	
SHEET 1.0	





NOT TO SCALE



- SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT.(7 FT FROM PAVEMENT TO BOTTOM OF SIGN.)

PARCEL ID: 121726000020
LOT 2, SUMMIT EAST, PHASE I ADDITION
PLAT BOOK 19, PAGE 35
OWNER: FIRST COMMERCIAL CREDIT UNION
OR BOOK 4613, PAGE 202
ZONING: IC- INTERCHANGE COMMERCIAL
USE: OFFICE BUILDINGS/NONPROF/MULTI

1. ALL TRAFFIC CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH M.U.T.C.D., F.O.D.T., AND CITY OF TALLAHASSEE. ALL PAVEMENT MARKINGS, EXCEPT FOR PARKING STALL LINES, SHALL BE THERMOPLASTIC PER CURRENT F.O.D.T. STANDARDS. ALL PAVEMENT MARKINGS SHALL BE WHITE, EXCEPT CENTERLINES AND PAINTED CURBS. DISABLED WHEEL CHAIR ACCESS AISLES SHALL BE COLORED BLUE. PER ADAAG, FDOT ACCESSIBILITY CODE AND OTHER RELATED STANDARDS (ADAAG, FDOT, ETC.)
2. ALL RETAINING WALLS THAT ARE EQUAL TO AND GREATER THAN 2 FEET IN HEIGHT SHALL BE REVIEWED AND PERMITTED UNDER A SEPARATE BUILDING PERMIT.
3. ALL WALL COMPONENTS (FOOTERS, TIE-BACKS, ETC.) SHALL BE LOCATED COMPLETELY WITHIN PROPERTY BOUNDARY.
4. ALL DEVELOPMENT SHALL COMPLY WITH THE URBAN DESIGN CRITERIA OF SECTION 15-447, F.D.C.
5. a. ALL BUILDINGS ELEVATIONS WHICH MAY BE VIEWED FROM A PUBLIC STREET SHALL BE FINISHED IN BRICK, STUCCO, GLASS CURTAIN WALL, ARCHITECTURAL CONCRETE OR TEXTURED BLOCK. ALL BUILDING ELEVATIONS WHICH MAY BE VIEWED FROM A PUBLIC STREET SHALL HAVE A SIMILAR MIX OF BUILDING MATERIALS CONSISTENT WITH THE FRONT BUILDING ELEVATION.
6. a. ALL BUILDINGS SHALL HAVE UTILITY CONNECTIONS, ROOF TOP EQUIPMENT AND METER LOCATIONS WITH MATERIALS FOUND ON THE BUILDING EXTERIOR OR WITH EVERGREEN LANDSCAPING.
7. c. ALL BUILDINGS SHALL SCREEN TRASH COLLECTION/STORAGE AREAS WITH MATERIALS FOUND ON THE EXTERIOR OF THE BUILDING.
8. d. ALL DELIVERY TRUCK DOCKS SHALL PROVIDE A SCREEN OF SUFFICIENT HEIGHT AND LENGTH TO SCREEN LOADING AND UNLOADING TRUCKS FROM PUBLIC STREETS EXTERNAL TO THE DISTRICT.
9. e. ALL ELECTRICAL AND TELECOMMUNICATIONS WIRING SHALL BE LOCATED UNDERGROUND EXCEPT FOR ANTENNAE.
10. f. ALL DEVELOPMENT SHALL DEVELOP AND MAINTAIN A 25-FOOT LANDSCAPE AREA ADJACENT TO ARTERIAL ROADWAYS OTHER THAN INTERSTATE 10. THIS LANDSCAPE AREA SHALL HAVE AT LEAST ONE STREET TREE FOR EVERY 40 FEET OF STREET FRONTAGE. THE LANDSCAPE AREA MAY CONTAIN A SIDEWALK AND BE CROSSED BY DRIVEWAYS, ENTRANCES AND SIDEWALKS.
11. g. THE ONLY FREE-STANDING SIGNAGE PERMITTED WITHIN THE IC DISTRICT SHALL BE MONUMENT SIGNS. HOWEVER, INTERSTATE SIGNAGE MAY BE PERMITTED IN ACCORDANCE WITH ALL OTHER LOCAL, STATE AND FEDERAL STATUTES.

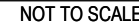
$$1 \text{ inch} = 30 \text{ ft.}$$

PROPERTY TAX ID #		121727 D0010	
2 ZONING:		INTERCHARGE COMMERCIAL (IC)	
3 SITE AREA:		139,245 SF	3.20 AC
4 BUILDING AREA:			
1ST FLOOR OFFICE AREA		12,250 SF	
1ST FLOOR WAREHOUSE AREA		23,050 SF	
2ND FLOOR AREA		16,957 SF	
TOTAL BUILDING AREA:		52,257 GSF	
5 PARKING CANOPY:		2,160 SF	
6 PARKING REQUIRED:			
OFFICE PARKING REQUIRED		49 SPACES	
WAREHOUSE PARKING REQUIRED:		30 SPACES	
TOTAL PARKING SPACES REQUIRED:		79 SPACES	
7 PARKING PROVIDED:			
STANDARD SPACES PROVIDED		55 SPACES	
ADA SPACES PROVIDED		3 SPACES	
TOTAL PARKING SPACES PROVIDED:		58 SPACES	
8 BIKE PARKING REQUIRED:			
OFFICE BIKE PARKING REQUIRED		4 SPACES	
WAREHOUSE BIKE PARKING REQUIRED		2 SPACES	
TOTAL BIKE PARKING REQUIRED:		6 SPACES	
9 BIKE PARKING PROVIDED:			
OUTDOOR BIKE PARKING PROVIDED		4 SPACES	
SECURED/COVERED BIKE PARKING PROVIDED		4 SPACES	
TOTAL BIKE PARKING PROVIDED:		8 SPACES	
10 PRE-DEVELOPMENT IMPERVIOUS AREA:		1,739 SF	0.04 AC
11 POST DEVELOPMENT IMPERVIOUS AREAS:			
BUILDINGS (FOOTPRINT)		35,300 SF	0.81 AC
VEHICULAR USE AREA		32,682 SF	0.75 AC
GRAVEL LAY DOWN YARD		6,328 SF	0.15 AC
MISC. CONCRETE (CURB & GUTTER, SIDEWALKS, ETC.)		8,732 SF	0.20 AC
TOTAL POST DEVELOPMENT IMPERVIOUS AREAS:		83,042 SF	1.91 AC

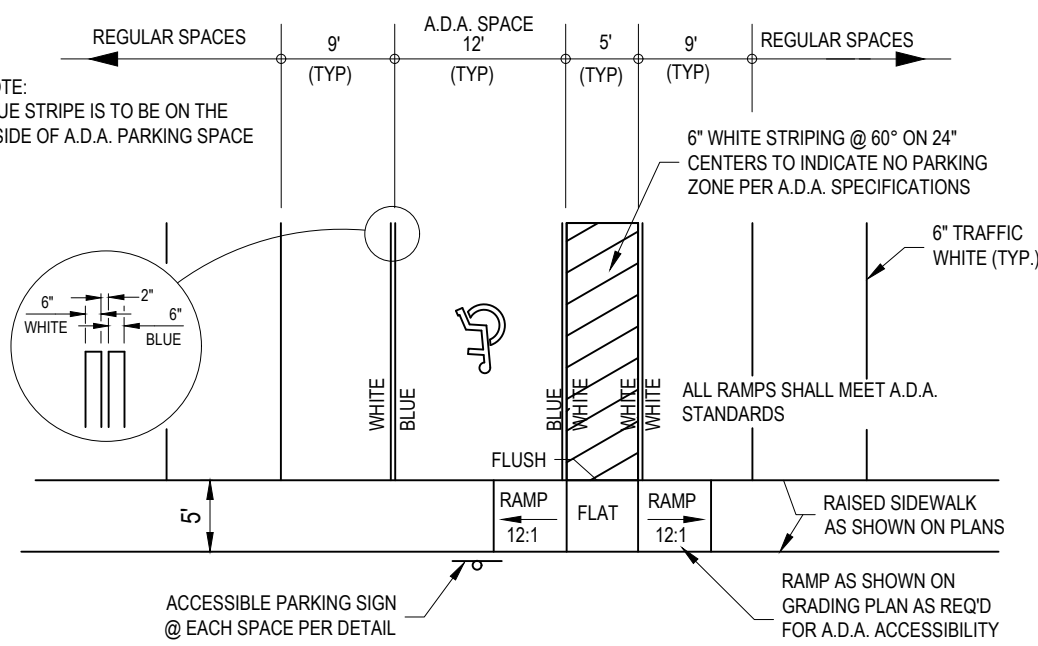
* NOTE: SITE IS ONLY REQUIRED TO PROVIDE 4.23% URBAN FOREST AREA DUE TO OFFSITE URBAN FOREST PROVIDED AS PART OF OVERALL PLAT.

The diagram illustrates a proposed road cross-section with the following components from top to bottom:

- PROPOSED BUILDING**: A solid grey rectangular area.
- PROPOSED ASPHALT PAVEMENT**: A layer with a stippled texture.
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT**: A layer with a pattern of large, irregular polygons.
- PROPOSED CONCRETE PAVEMENT**: A layer with a pattern of small, irregular polygons.
- PROPOSED GRAVEL**: A layer with a pattern of small, irregular polygons.
- URBAN FOREST AREA**: A layer with a pattern of small, irregular polygons.
- PROPOSED OFFSITE SHARED DRIVEWAY (PAVED SIDEWALK)**: A layer with a pattern of small 'x' marks.
- CURB RAMP BY FDOT DESIGN #522-002 WITH DETECTABLE WARNING**: A rectangular area containing a 'CR-X' symbol.
- STOP SIGN (R1-1) AND 24" WHITE THERMOPLASTIC STOP BAR PER MUTCD**: A circular stop sign symbol.
- PROPOSED VEHICULAR CIRCULATION**: Two black arrows pointing in opposite directions.
- PROPOSED ACCESSIBLE ENTRY**: A pink arrow pointing to the left.



NOT TO SCALE



CLIENT NAME

[illegible]

T0123.0049-GEC

DATE 2025.08.13

CONTRACT # T0123.0049

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805 N. GADSDEN STREET
TALLAHASSEE, FL 32303
CERTIFICATE OF AUTHORIZATION NO. 0000816

SEAL

Jessica Gillespie

State of Florida, Professional Engineer,
License No. 91621

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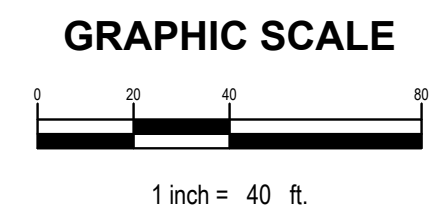
GEOMETRY PLAN

CLUEK

20

3.0

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Consulting, Inc.**

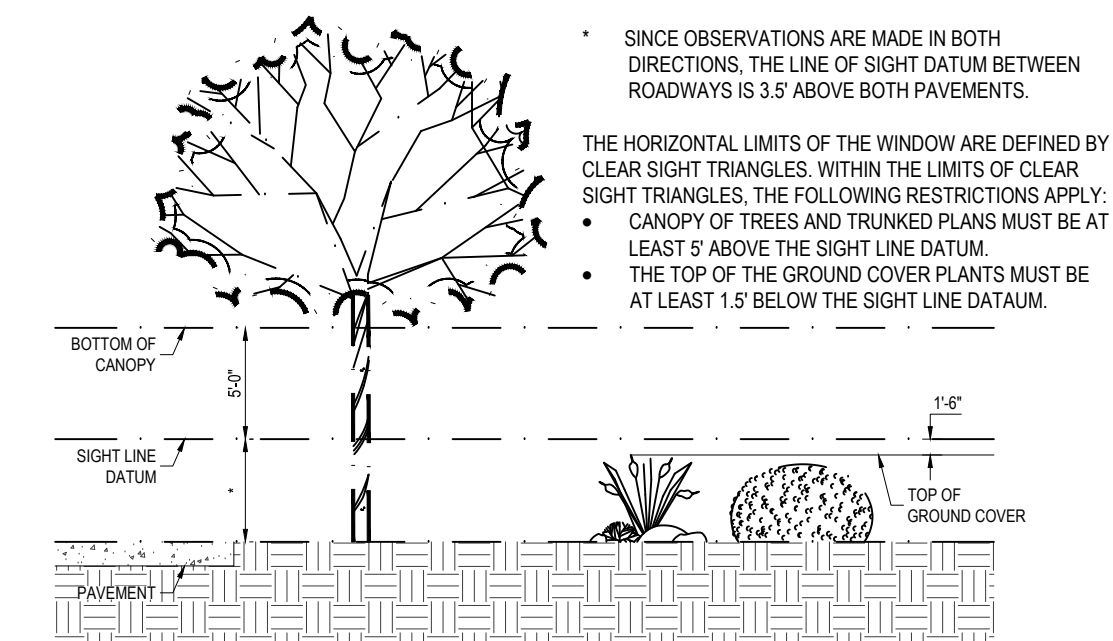
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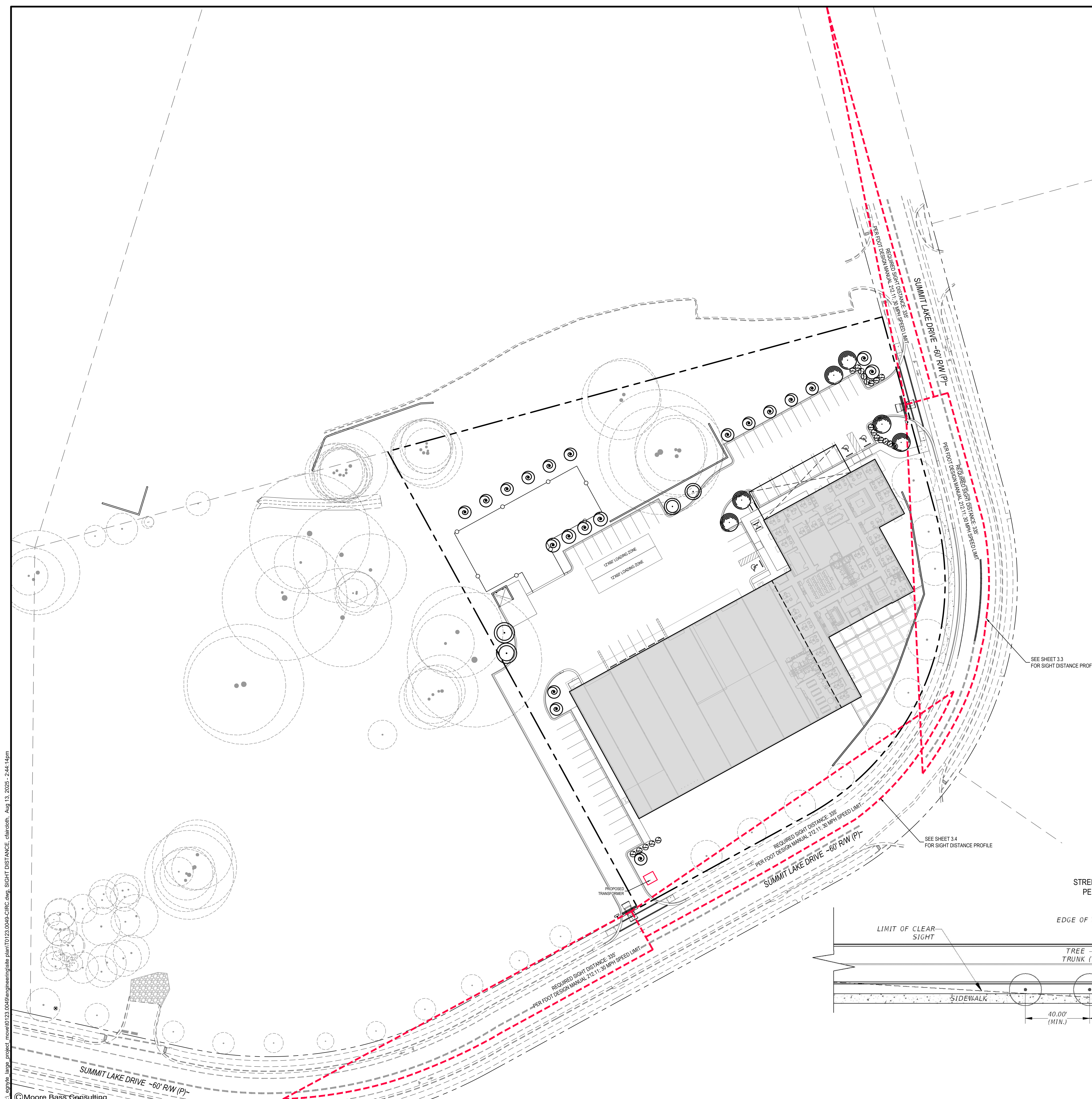
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MILLER PLUMBING AT SUMMIT EAST - SPERRY

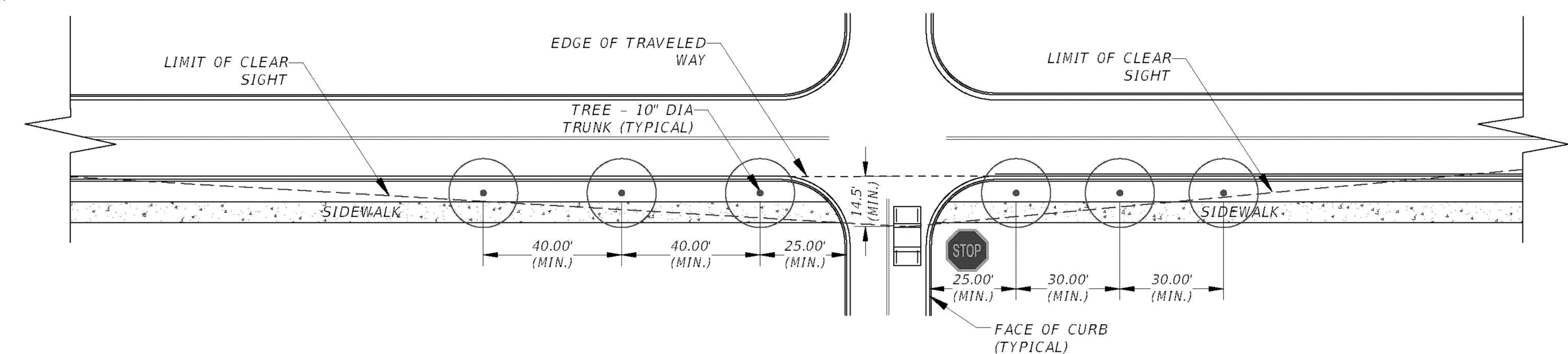
SPERRY & ASSOCIATES, INC
4495 CAPITAL CIRCLE NW
TALLAHASSEE, FL, 32303



CLEAR SIGHT WINDOW DIAGRAM
EXHIBIT C, CITY OF TALLAHASSEE STREET TREE PLANTING STANDARDS, JULY 2020
NOT TO SCALE



DESIGN SPEED 30 MPH AND UNDER
STREET TREE SPACING DIAGRAM FOR INTERSECTION SIGHT DISTANCE
PER CITY OF TALLAHASSEE STREET TREE PLANTING STANDARDS

[illegible]

0123.0049-CIRC

DATE 2025.08.13

CONTRACT # T0123.0049

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TALLAHASSEE, FL 32303
RTIFICATE OF AUTHORIZATION NO. 00006108

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Jessica Gillespie
State of Florida, Professional Engineer,
License No. 91621

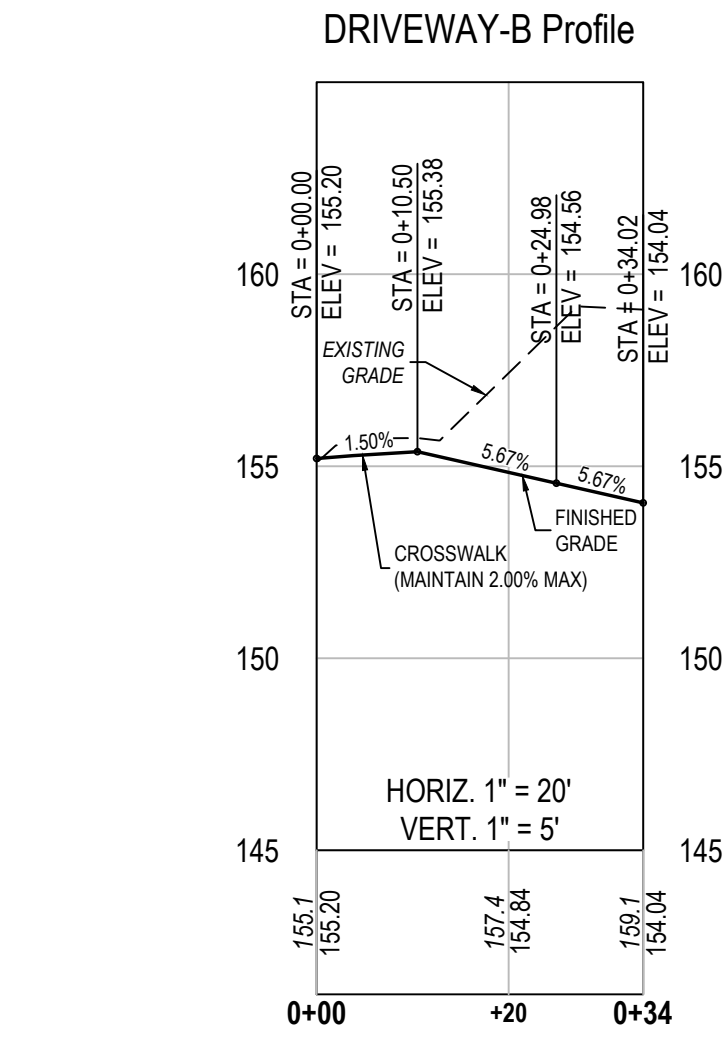
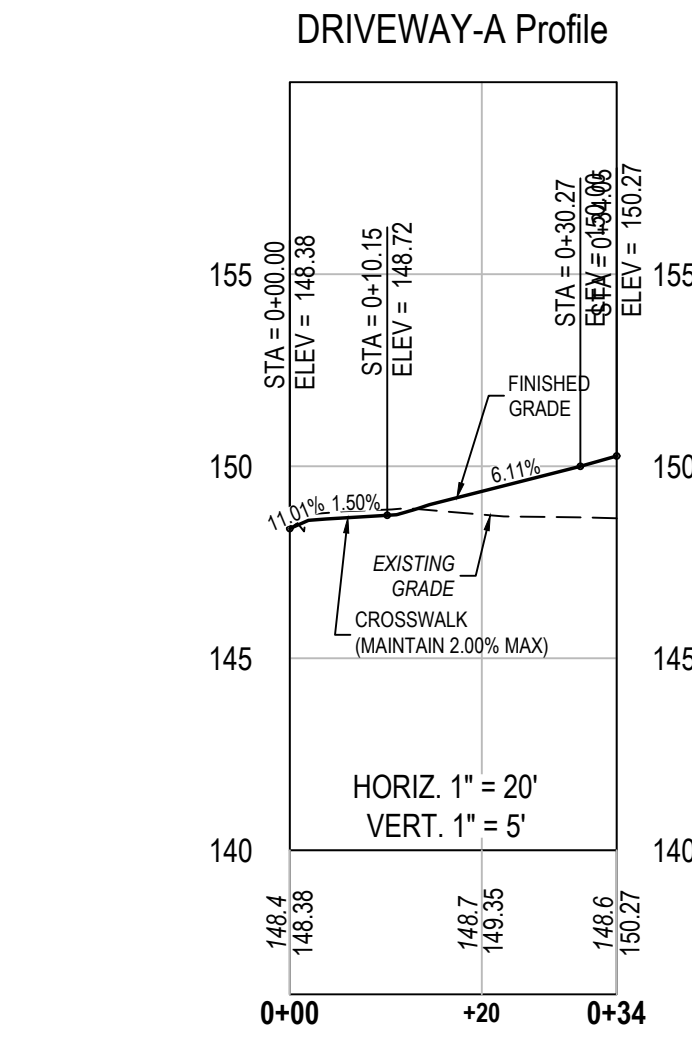
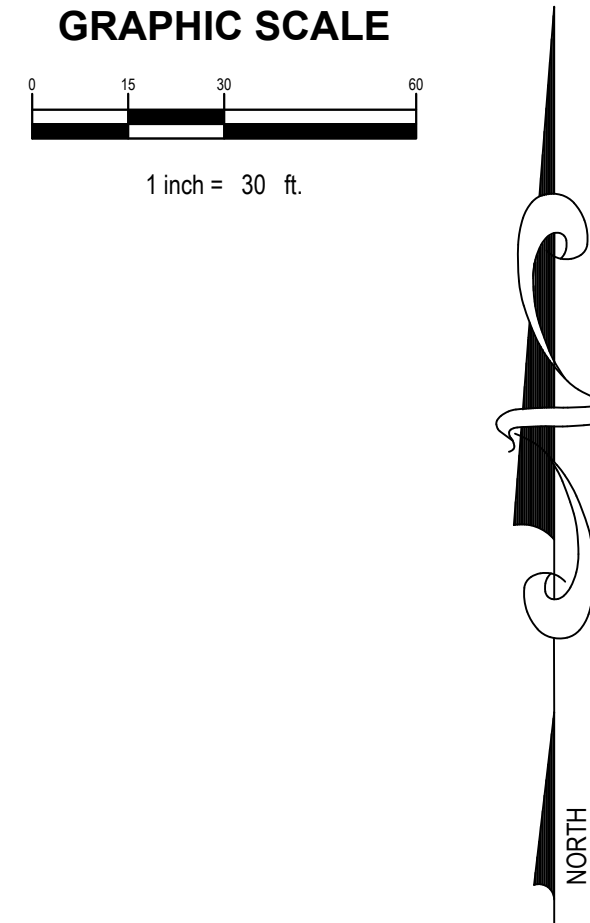
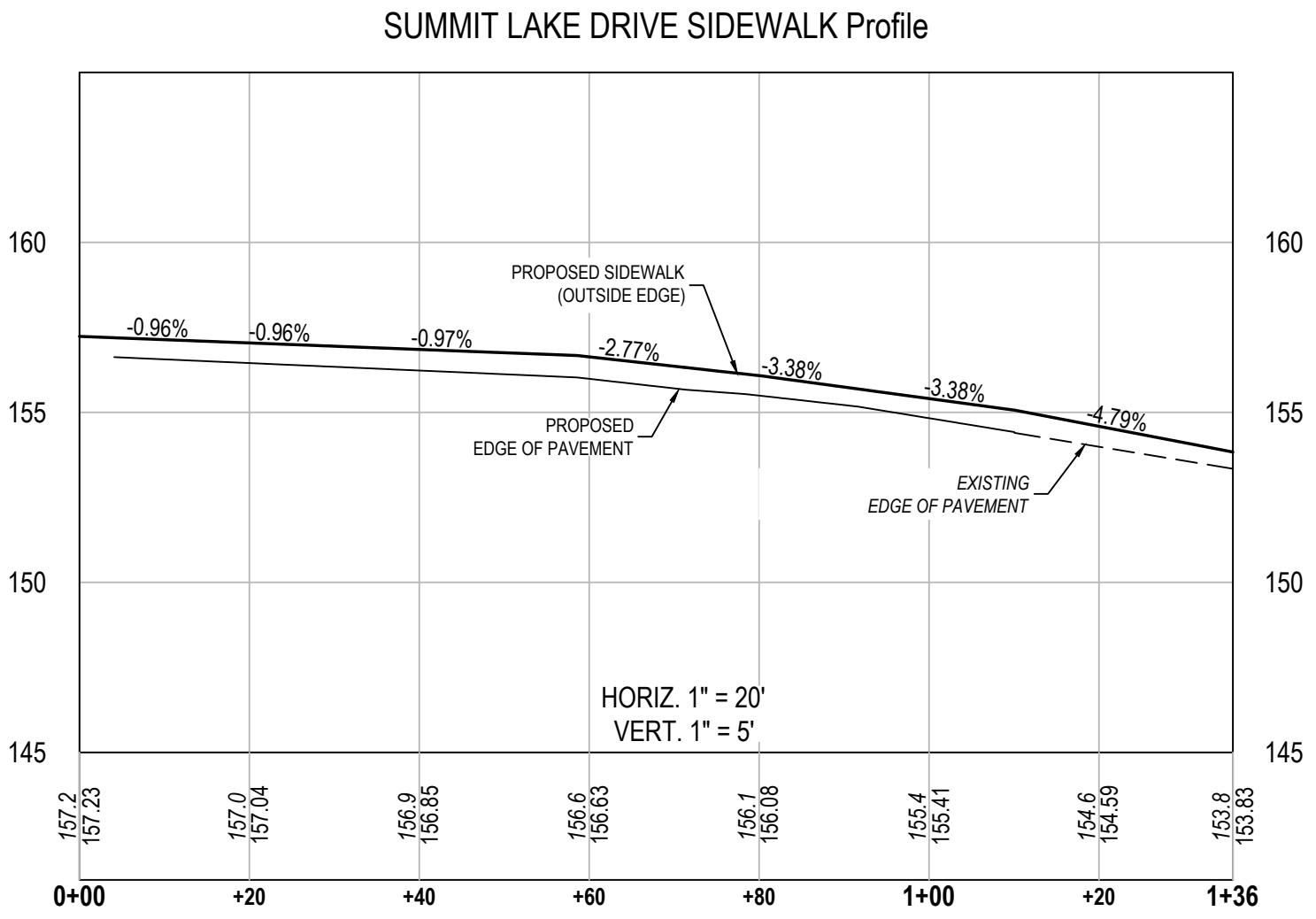
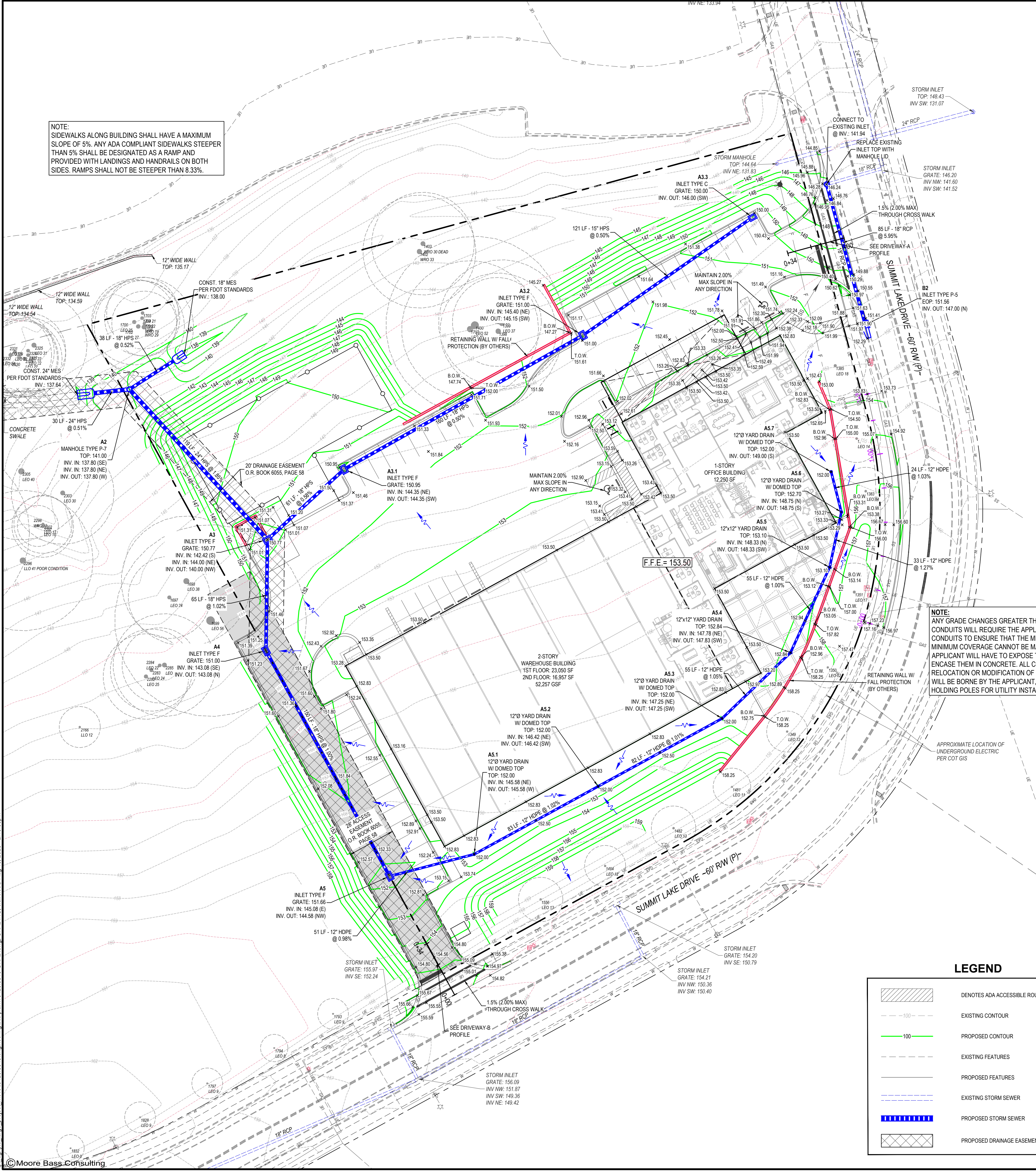
RELIMINARY, NOT
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SHEET TITLE

RIGHT DISTANCE PLAN

SHEET

3.2



- GRADING NOTES:**
1. FINISH GRADE ELEVATION ADJACENT TO BUILDINGS SHALL BE 8" LOWER THAN THE FINISHED FLOOR ELEVATION, EXCEPT WHERE NOTED.
 2. INTERNAL SIDEWALKS, EXCEPT AS NOTED, SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A CROSS SLOPE OF 1.5% (2:00" MAX).
 3. MAINTAIN 1.50% (2:00" MAX.) THROUGH ALL CROSSWALKS.
 4. CONTRACTOR IS RESPONSIBLE TO COORDINATE SIDEWALK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO VERIFY ELEVATIONS SHOWN AT BUILDING ENTRIES WITH FINAL ARCHITECTURAL PLANS. ANY DISCREPANCY RESULTING IN CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL EXISTING SIDEWALK/EDGE OF PAVEMENT ELEVATIONS PRIOR TO SIDEWALK AND BUILDING FOUNDATION CONSTRUCTION. ANY DISCREPANCIES WHICH MAY EFFECT ACCESSIBILITY OR DRAINAGE SHOULD BE REPORTED TO THE ENGINEER IMMEDIATELY.
 5. REFER TO PLANS (BY OTHERS) FOR ALL ASPECTS OF RETAINING WALL, RAMP & STAIR DESIGN AND CONSTRUCTION.
 6. ALL ROOF DRAINS SHALL BE CONNECTED TO BELOW GRADE DRAIN SYSTEM.

FLOOD ELEVATION:
BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 12073C 0307 F, REVISED AUGUST 18, 2009 THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE "X". (AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.)

LEGEND

- DENOTES ADA ACCESSIBLE ROUTE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FEATURES
- PROPOSED FEATURES
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED DRAINAGE EASEMENT

CONTRACTOR NOTICE 2023 (effective December 31, 2023)

- The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2023 Florida Building Code, Accessibility, 8th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A and FBC-B. The following items take precedence and supersede other site details on drawings:
1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3 & §502.3, FBC-A and F.S. 553.5041.
 2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §208.3.1 FBC-A & F.S. 553.5041(5)(b).
 3. ACCESSIBLE PARKING spaces shall be 12 ft. wide & outlined with blue paint. §502.2 & §502.6 FBC-A.
 4. ACCESS AISLES required adjacent to parking spaces shall be 5 ft. wide with diagonal striping. §502.3.1, FBC-A.
 5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1/48") on a stable, firm & slip resistant surface. Re: §302.1 & §502.4 FBC-A.
 6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60 inches from the ground to the bottom of the sign(s). Re: §502.6 FBC-A and F.S. 553.5041.
 7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406., FBC-A.
 8. CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A.
 9. ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FAC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7 FBC-A.
 10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Maximum rise of a ramp run is 30 inches on an accessible route. Re: §1012.8 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
 11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope unless ramps with proper handrails & handrail extensions are provided AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403., FBC-A.
 12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.
- * **EXCEPTION:** An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A

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Tallahassee, FL 32303
850.222.5678

PROJECT NAME
MILLER PLUMBING AT SUMMIT EAST - SPERRY

CLIENT NAME
**SPERRY & ASSOCIATES, INC
4495 CAPITAL CIRCLE NW
TALLAHASSEE, FL 32303**

REVISIONS	DATE	DESCRIPTION

T0123.0049-GRAD

DATE: 2025.08.13

CONTRACT #: T0123.0049

DRAWN BY: MBC

SEAL:

PRELIMINARY, NOT FOR CONSTRUCTION

SHEET TITLE: **GRADING PLAN**

SHEET: **4.0**

