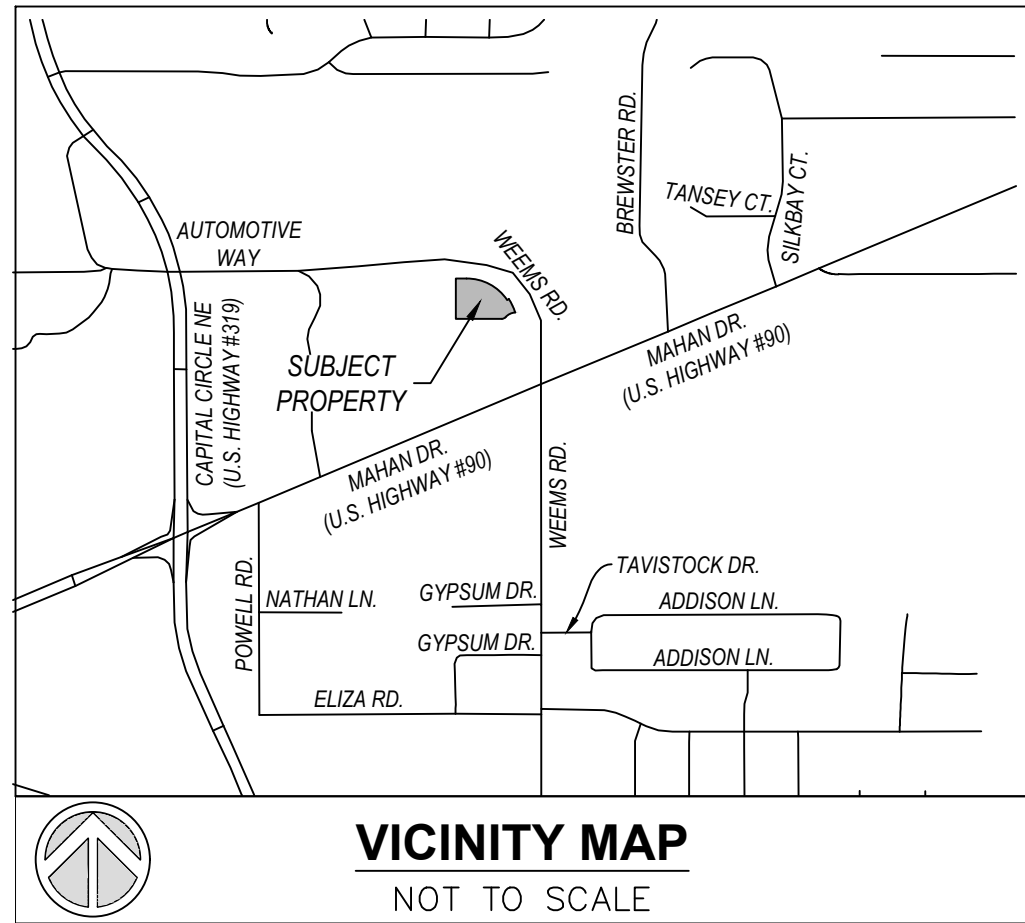




TYPE B SITE PLANS FOR WEEMS ROAD STORAGE

WEEMS ROAD
CITY OF TALLAHASSEE
LEON COUNTY, FLORIDA

City of Tallahassee
Tax I.D. 1127202070020

SHEET INDEX

C 0.1	COVER SHEET
C 2.0	EXISTING CONDITIONS & PHASE I DEMO PLAN
C 3.0	SITE PLAN
C 3.1	TRUCK TURNING PLAN
C 4.0	OVERALL GRADING PLAN
C 6.0	UTILITY PLAN
L 1.1	LANDSCAPE PLAN
A 200	BLDG ELEVATION
A 201	BLDG ELEVATION

CONTRACTOR NOTICE 2023 (effective December 31, 2023).

The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the **2023 Florida Building Code, Accessibility, 8th Edition** (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A & FBC-B. The following items take precedence and supersede other site details on drawings:

- ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3 & §502.3, FBC-A and F.S. 553.5041. -
- ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (HIC) parking to an accessible entrance. §208.3.1 FBC-A & F.S. 553.5041(5)(b). -
- ACCESSIBLE PARKING spaces shall be 12 ft wide & outlined with blue paint. §502.2 & §502.6 FBC-A.
- ACCESS AISLES required adjacent to parking spaces shall be 5 ft wide with diagonal striping. §502.3.1, FBC-A
- ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1:48) on a stable, firm & slip resistant surface. Re: §302.1 & §502.4, FBC-A
- ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60 inches from the ground to the bottom of the sign(s). Re: §502.6 FBC-A and F.S. 553.5041.
- CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406, FBC-A
- CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A
- ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FAC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7 FBC-A.
- ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Maximum rise of a ramp run is 30 inches on an accessible route. Re: §1012.8 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
- ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope unless ramps with proper handrails & handrail extensions are provided AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
- *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.

* **EXCEPTION:** An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A

FIRE DEPARTMENT NOTES:

- ACCESS GATES SHALL BE PROVIDED WITH A KEYPAD ENTRY SYSTEM, ELECTRONIC TRANSMITTER OR CARD READER
- CODED NUMBERS FOR KEYPAD ENTRY SYSTEMS WILL BE DESIGNATED BY THE FIRE CHIEF AND POLICE CHIEF FOR FIRE AND POLICE DEPARTMENT EMERGENCY ACCESS.
- ALL ACCESS GATES SHALL BE DESIGNED TO PROVIDE AUTOMATIC ENTRY FOR FIRE APPARATUS IN THE FORM OF SIREN ACTIVATION
- A SIGN SHALL BE ATTACHED TO THE GATE INDICATING THE PROCEDURE TO OPEN THE GATE WITH THE SOUND OF THE EMERGENCY SIREN.
- ALL ACCESS GATES SHALL BE DESIGNED TO UNLOCK WITH READILY ACCESSIBLE MANUAL RELEASING DEVICE.
- DURING A POWER FAILURE, ALL ACCESS GATES SHALL BE DESIGNED TO FAIL IN THE OPEN POSITION.
- A KNOX KEY BOX SHALL BE INSTALLED AT ALL GATES
- PARKING GATE SHALL NOT OBSTRUCT THE REQUIRED 20' MINIMUM FIRE DEPARTMENT ACCESS ROAD.

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH FDOT STANDARD PLANS AND SPECIFICATIONS FY 25-26 AND THE CURRENT CITY OF TALLAHASSEE MINIMUM STANDARDS, REQUIREMENTS AND SUPPLEMENTAL SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

PROJECT DESCRIPTION:

This project consists of a lot located at the northern bend of Weems Road with a total parcel size of 1.03 acres. We are proposing to construct a total of one building. This will include the necessary utilities, grading, buildings, site sidewalks and new parking spaces located on Weems Road.

CONSTRUCTION SCHEDULE 2026												
	ITEM	BMP INSTALLATION	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
PHASE I	INSTALL EROSION CONTROL	Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb										
PHASE II	DEMOLITION/ROUGH GRADING	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
PHASE II	CONSTRUCT BUILDINGS & STORM	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
PHASE II	SIDEWALKS & OTHER HARDSCAPES	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
PHASE II	PAVING/UTILITIES	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
PHASE III	FINE GRADING	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
PHASE III	INSTALL PERMANENT LANDSCAPE	INSTALL/MAINTAIN Co.Sd1-C,Ft.Du.Ds1.Ds2.Cd-Hb SI.Sd2-F,RL.Ds3.Mb.Su										
ALL PHASES	MAINTAIN ALL BMP'S											
AFTER PHASE III	REMOVE ALL BMP'S	Co.Sd1-C,Sd2-P,RL,Ft,Cd-Hb										

"GOVERNING STANDARDS"
FDOT LATEST STANDARDS AND SPECIFICATIONS (CURRENT EDITION)
CURRENT FLORIDA BUILDING CODES
CITY OF TALLAHASSEE SPECIFICATIONS - CURRENT



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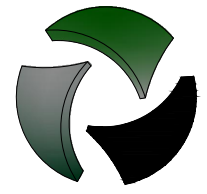
SURVEYOR:



MOORE BASS CONSULTING, Inc.*
805 NORTH GADSDEN STREET, TALLAHASSEE, FL 32303
PHONE: (850) 222-5678
LICENSED BUSINESS No. 7245

AGENT:

CONSTRUCTION PERMITTING SOLUTIONS
2940 KERRY FOREST PARKWAY, SUITE 101
TALLAHASSEE, FL 32309



CONSOLIDATED
DESIGN
PROFESSIONALS

2940 Kerry Forest Pkwy
Suite 101
Tallahassee, FL 32309
ph: 850.296.3668
fax: 770.818.5663
ca #9938

DESIGN OFFICE:

Construction Documents
PREPARED FOR:

Arun Kundra & Sumit Agarwal
2616 Gamble Road
Monticello, FL 32344

CLIENT

REVISIONS

#	DATE & BY
1.	REV. FOR SUB 9.5.25
2.	10/25/25 PER DRC
3.	11/3/25 PER DRC
4.	11/22/25 PER DRC
5.	12/22/25 PER DRC
6.	4/22/26 PER DRC
7.	7.20.26 PER COT

WEEMS ROAD STORAGE

Weems Road City of Tallahassee
Tax I.D. 1127202070020

PROJECT

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SEAL

DATE: DEC 19, 2024

PROJECT NO. 24400.01

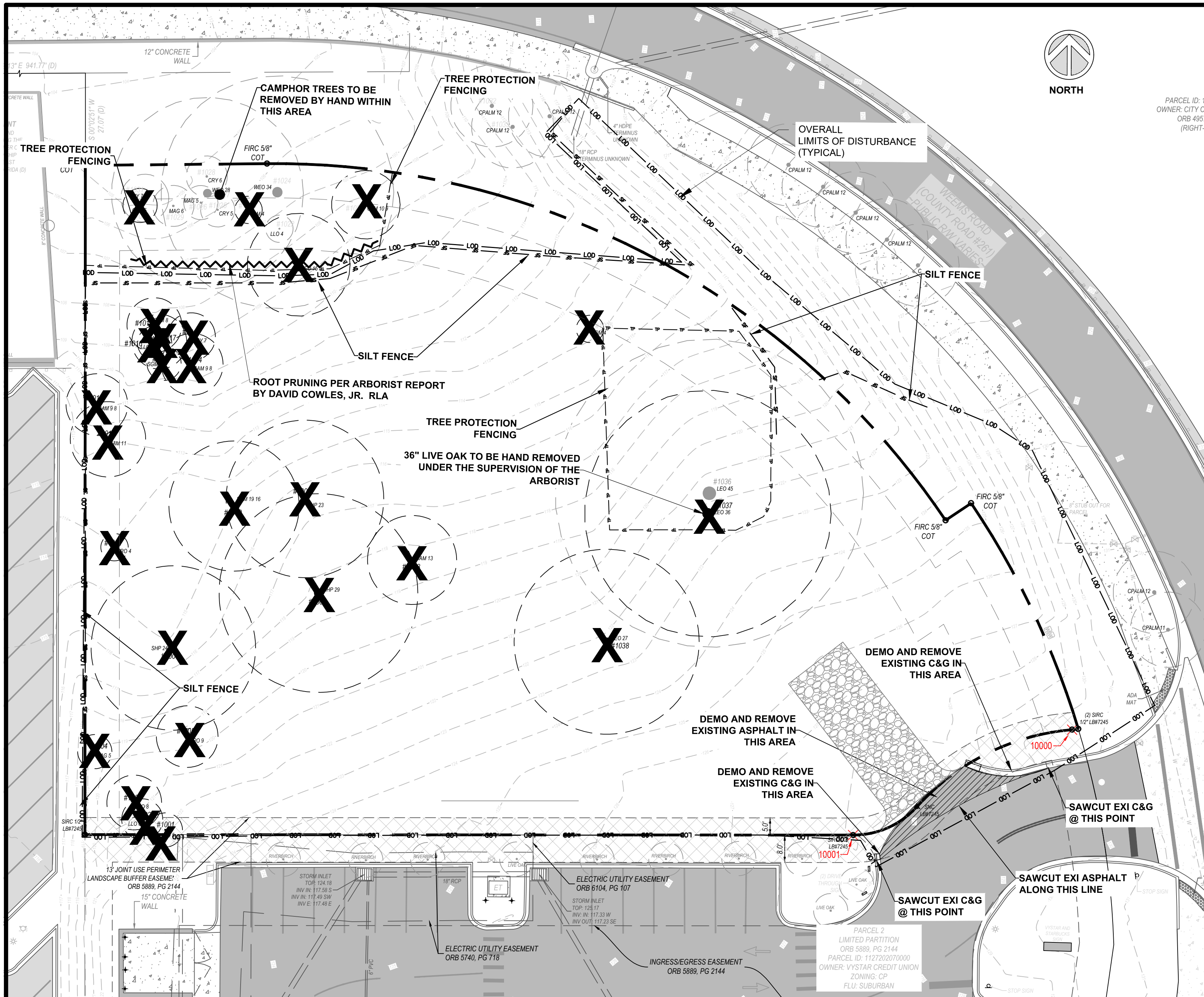
DWG FILE -- Weems Road Master.dwg

SCALE: AS SHOWN

COVER SHEET

C 0.1

SHEET



PHASE I DEMO PLAN

DEMOLITION NOTES

1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, STATE & FEDERAL.
2. WITHIN THE SUBJECT DISTURBED AREA, THE INTENT IS TO HAVE A CLEAN AND CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO CONSTRUCT THE PROPOSED NEW FEATURES.
3. ALL ITEMS TO BE DEMOLISHED AND REMOVED, SHALL BE COMPLETELY REMOVED FROM THE SITE AND NO STOCKPILING OF TRASH ONSITE, OTHER THAN TOPSOIL, IS ALLOWED ONSITE.
4. ALL UTILITIES COMPANIES SHALL BE NOTIFIED PRIOR TO ANY WORK COMMENCING AND THEIR DETERMINATIONS SHALL BE WHAT IS FOLLOWED EVEN IF IT CONTRADICTS THE PLAN.
5. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL UTILITIES HAVE BEEN PROPERLY SHUT OFF AND DISLOCATED AND REMOVED PRIOR ANY NEW CONSTRUCTION ACTIVITIES HAVE BEGUN.

"THE LIMITS OF DISTURBANCE ARE SHOWN OFFSITE FOR CLARITY ONLY AND ALL LAND DISTURBANCE IS CONTAINED ONSITE AND WITHIN THE CITY RIGHT OF WAY UNDER A SEPARATE RIGHT OF WAY PERMIT"

PUBLIC WORKS NOTES:

1. THE DEVELOPER SHALL REPAIR ANY DAMAGE TO THE ROW CAUSED DURING CONSTRUCTION, SUCH AS REPLACE ANY CURB & GUTTER AND OTHER EXISTING INFRASTRUCTURE THAT IS DAMAGED DUE TO THE DEVELOPMENT CONSTRUCTION.
2. CONTACT TYLER HARRISON @ (850) 891-8476 TO OBTAIN A RIGHT-OF-WAY MANAGEMENT PERMIT PRIOR TO EMP PERMIT ISSUANCE. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT FOOT DESIGN STANDARDS.

EROSION CONTROL NOTES:

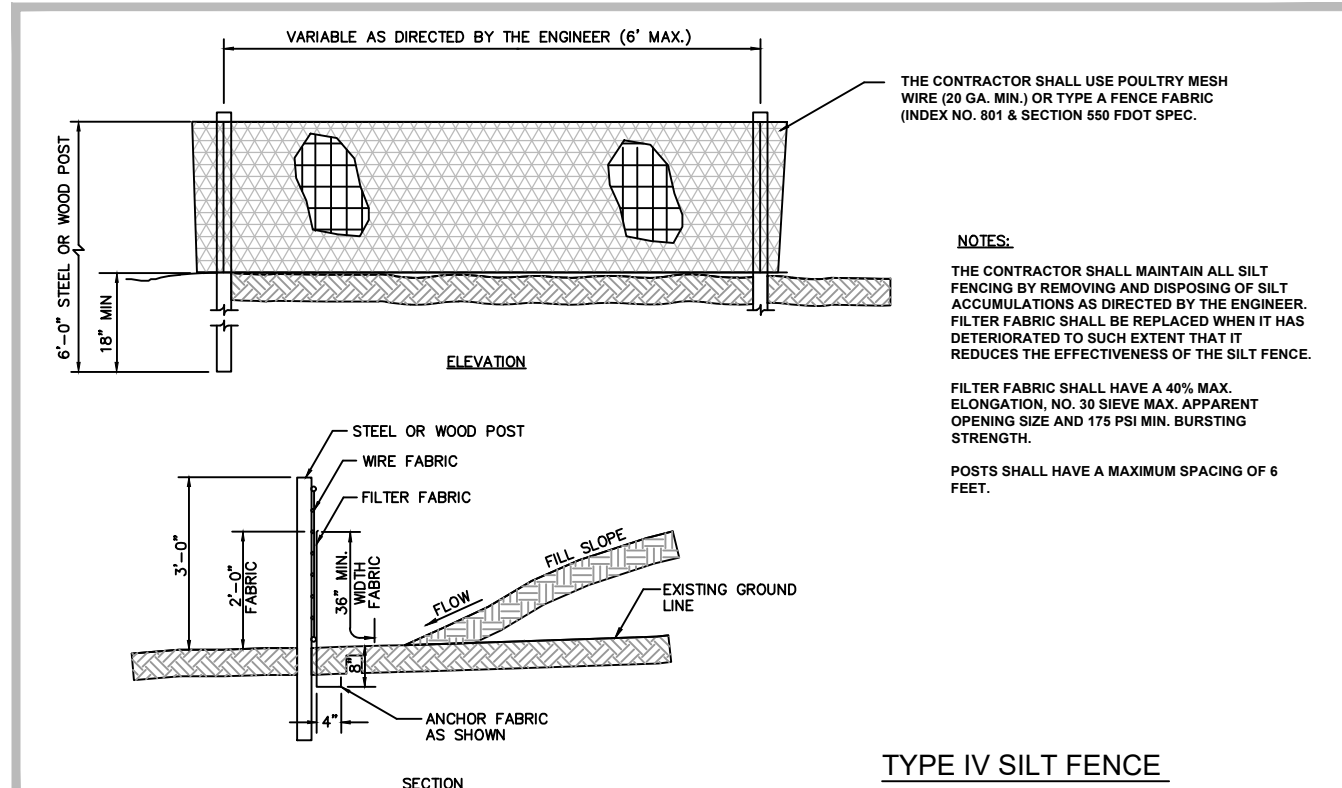
1. The erosion and sediment controls shown on the plans are the minimum required, additional measures may be required at the discretion of the city of Tallahassee environmental inspector.
2. All erosion controls and tree barricades must be inspected by the COT environmental inspector prior to clearing and grubbing of the site. A 10' wide strip can be cleared for the installation of the erosion controls and tree barricades.
3. The contractor shall ensure that a foreman or supervisor who has been certified under Florida stormwater, erosion and sedimentation control inspector training program is always available in person during construction activities. If at any time, the designated stormwater control officer is no longer on-site the designation form will need to be updated and submitted to Growth Management.
4. All disturbed areas to be left idle longer than fourteen days must be stabilized with quick grow grass seed and mulch.
5. If prehistoric or historic artifacts, such as pottery or ceramics, stone tools, metal implements, dugout canoes or any other physical remains that could be associated with the Native American Cultures or early colonial or American Settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The permittee or designated representative shall contact the Florida Department of State, Division of Historical Resources, review and Compliance Section, at (850) 245-6353 or (800) 847-7278, as well as (as appropriate) Leon County Environmental Services/the City of Tallahassee Growth Management Department. Project activities should not resume without a written authorization from the Division of Historical Resources. In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately, and the proposed authorities notified in accordance with Section 872.05, Florida Statutes.
6. A separate plumbing permit is required for new water/sewer services.
7. A separate fire permit is required for new fire service lines

E & S LEGEND

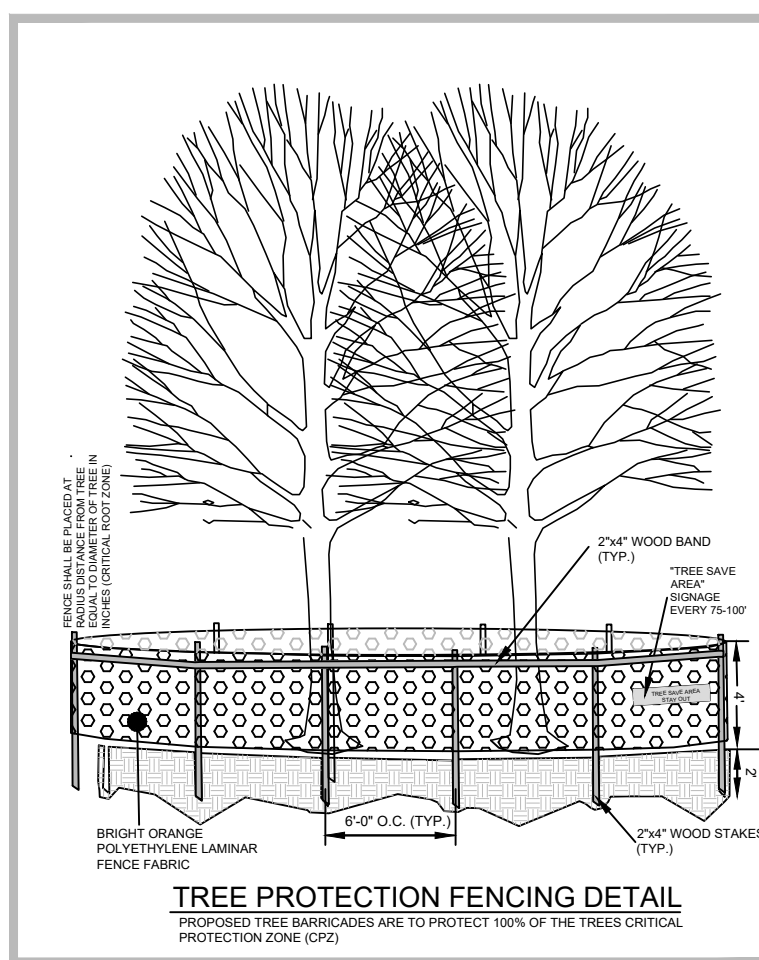
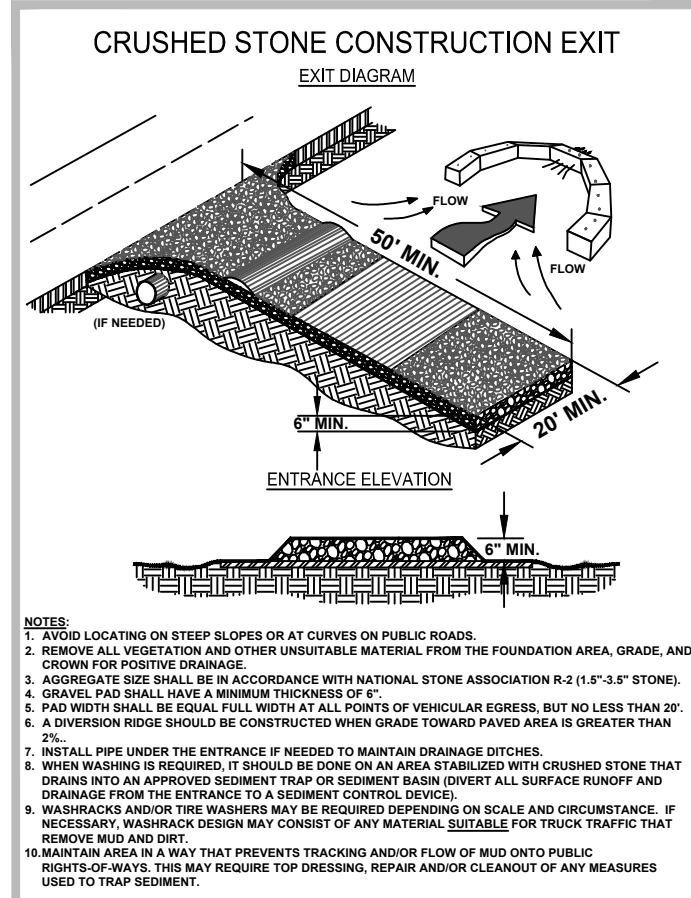
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMITS OF DISTURBANCE
- SOIL BOUNDARY
- FILTER LOG (18" FILTERX SILTBOX)
- SF FDOT HEAVY DUTY SILT FENCING
- TP TREE PROTECTION FENCING
- STANDARD INLET PROTECTION - TYPE A
- STANDARD CONSTRUCTION ENTRANCE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

CPZ NOTE

NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS OR AN ORBORICULTURAL MITIGATION PLAN HAVE BEEN NOTED ON PLANS.



TYPE IV SILT FENCE



TREE PROTECTION FENCING DETAIL

TREE DEBITS

Tree ID	Scientific Name	Common Name	DBH (in)	Removed	Debits	Credits
1001	Quercus laurifolia	Laurel Oak	5	x	2	
1002	Quercus laurifolia	Laurel Oak	6	x	2	
1003	Quercus laurifolia	Laurel Oak	8	x	4	
1004	Magnolia grandiflora	Southern Magnolia	5	x	8	
1005	Quercus nigra	Water Oak	9	x	4	
1006	Pinus elliotii	Slash Pine	24	x	10	
1007	Pinus elliotii	Slash Pine	29	x	10	
1008	Cinnamomum camphora	Camphor	13	x	0	
1009	Pinus elliotii	Slash Pine	23	x	8	
1010	Liquidambar styraciflua	Sweet Gum	19.16	x	20	
1011	Quercus nigra	Water Oak	4	x	2	
1012	Cinnamomum camphora	Camphor	11	x	0	
1013	Cinnamomum camphora	Camphor	9.8	x	0	
1014	Cinnamomum camphora	Camphor	9.8	x	0	
1015	Liquidambar styraciflua	Sweet Gum	5	x	2	
1016	Quercus laurifolia	Laurel Oak	5	x	2	
1017	Liquidambar styraciflua	Sweet Gum	8	x	4	
1018	Prunus serotina	Black Cherry	7	x	4	
1019	Cinnamomum camphora	Camphor	8	x	0	
1020	Quercus alba	White Oak	15	x	10	
1021	Cinnamomum camphora	Camphor	10.9	x	0	
1022	Quercus laurifolia	Laurel Oak	4	x	0	2
1023	Cinnamomum camphora	Camphor	4	x	0	
1024	Quercus alba	White Oak	34			29
1025	Prunus serotina	Black Cherry	5			2
1026	Magnolia grandiflora	Southern Magnolia	5			6
1027	Quercus alba	White Oak	28			24
1028	Prunus serotina	Black Cherry	6			2
1029	Magnolia grandiflora	Southern Magnolia	6			6
1030	Cinnamomum camphora	Camphor	5	x	0	
1031	Prunus serotina	Black Cherry	7			3
1032	Sabal palmetto	Cabbage Palm	12			0
1033	Sabal palmetto	Cabbage Palm	12			0
1034	Sabal palmetto	Cabbage Palm	12			0
1035	Liquidambar styraciflua	Sweet Gum	4			2
1036	Quercus virginiana	Live Oak	45			35
1037	Quercus virginiana	Live Oak	36	x	29	
1038	Quercus virginiana	Live Oak	27	x	30	
Trees to be Removed				25		13
Total Tree Debits				151		
Total Tree Credits					111	



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DESIGN OFFICE:

Construction Documents
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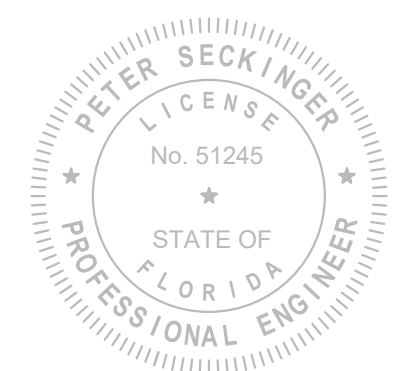
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WEEMS ROAD STORAGE

Weems Road City of Tallahassee
Tax ID. 1127202070020

PROJECT

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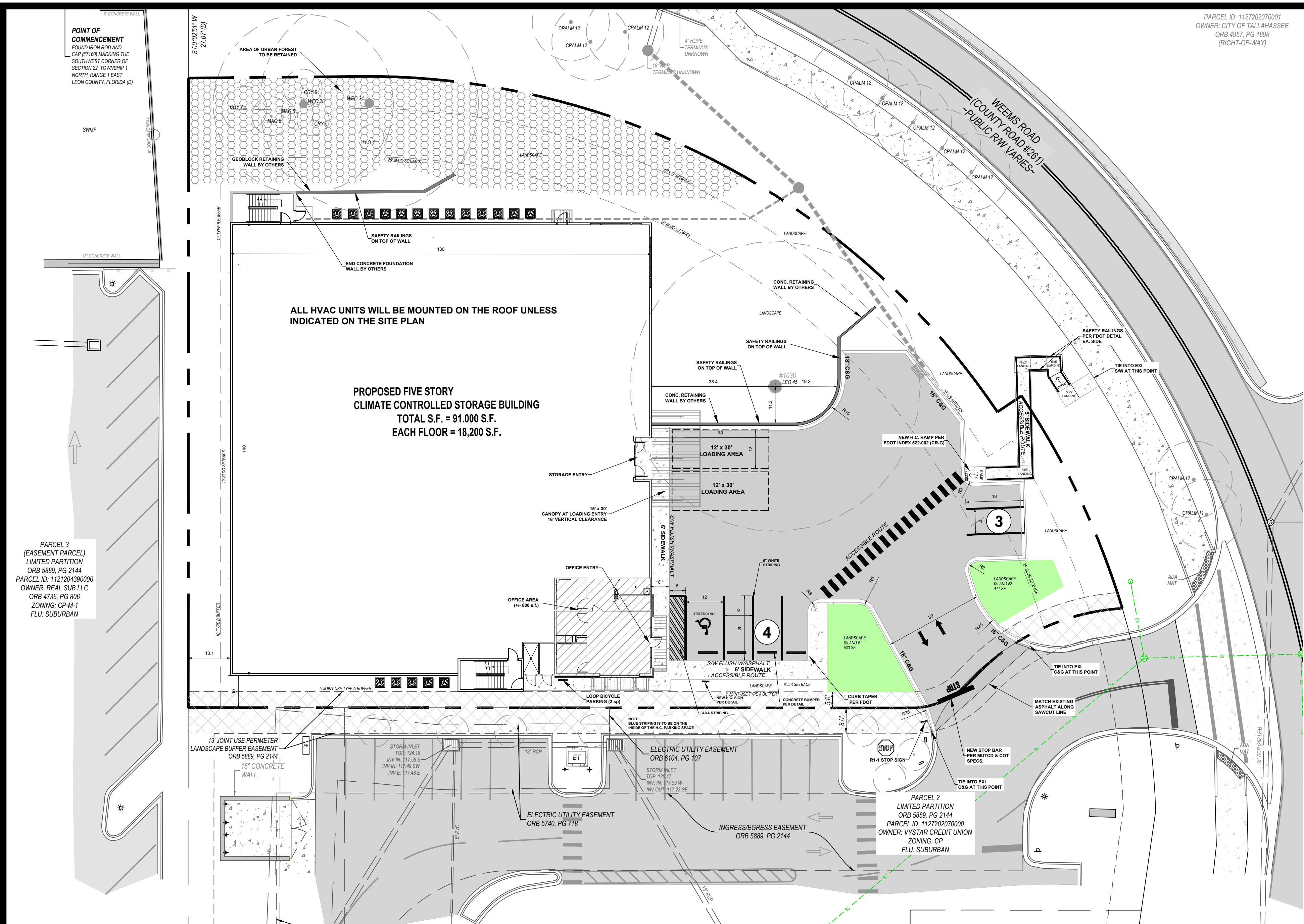
PROJECT NO. 24400.01

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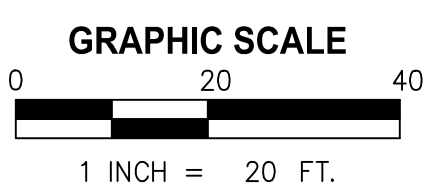
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PHASE I DEMO
PLAN
C 2.0

SHEET



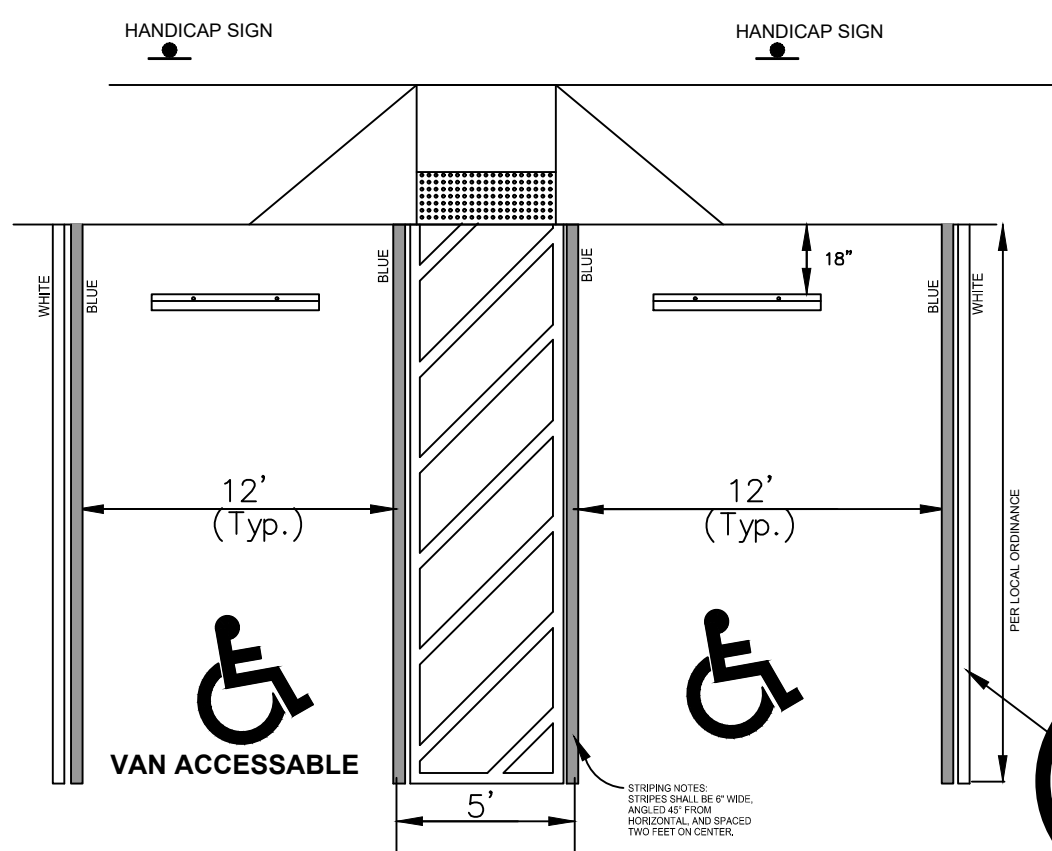
SITE PLAN



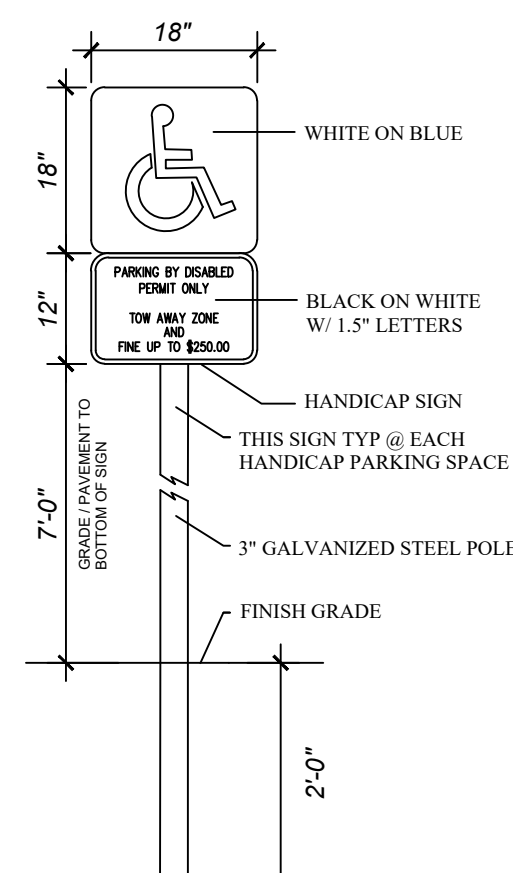
PROJECT LEGEND	
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED INTERIOR VEHICULAR USE LANDSCAPE AREA
	PROPOSED URBAN FOREST AREA

PUBLIC WORKS NOTES:

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- A RIGHT-OF-WAY MANAGEMENT PERMIT MUST BE ISSUED FOR THIS PROJECT. PLEASE CONTACT TYLER HARRISON @ (850) 891-8476 FOR THIS ITEM. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT FDOT DESIGN STANDARDS.
- PROPERTY OWNER IS RESPONSIBLE FOR SECTION OF SIDEWALK FROM WITHIN THE SITE TO THE SIDEWALK CONNECTION IN THE WEEMS ROAD RIGHT OF WAY.



TYPICAL HANDICAP STRIPING DETAIL



HANDICAP VERTICAL SIGN DETAIL

FIRE DEPARTMENT NOTES:

- ACCESS GATES SHALL BE PROVIDED WITH A KEYPAD ENTRY SYSTEM, ELECTRONIC TRANSMITTER OR CARD READER
- CODING NUMBERS FOR KEYPAD ENTRY SYSTEMS WILL BE DESIGNATED BY THE FIRE CHIEF AND POLICE CHIEF FOR FIRE AND POLICE DEPARTMENT EMERGENCY ACCESS.
- ALL ACCESS GATES SHALL BE DESIGNED TO PROVIDE AUTOMATIC ENTRY FOR FIRE APPARATUS IN THE FORM OF SIREN ACTIVATION
- A SIGN SHALL BE ATTACHED TO THE GATE INDICATING THE PROCEDURE TO OPEN THE GATE WITH THE SOUND OF THE EMERGENCY SIREN.
- ALL ACCESS GATES SHALL BE DESIGNED TO UNLOCK WITH READILY ACCESSIBLE MANUAL RELEASING DEVICE.
- DURING A POWER FAILURE, ALL ACCESS GATES SHALL BE DESIGNED TO FAIL IN THE OPEN POSITION.
- PLANS MUST SHOW DATES AND DIMENSIONS OF VEHICLE TURN-AROUND FOR VEHICLES THAT ARE DENIED ENTRY.
- PARKING GATE SHALL NOT OBSTRUCT THE REQUIRED 20' MINIMUM FIRE DEPARTMENT ACCESS ROAD.

SITEDATA

General Information

Property Tax ID # (s):	1127202070020
Site Address:	Weems Road
Zoning:	CP
Overlay / Transect (if any):	N/A
Setbacks:	Front: 25 FT Rear: 10 FT Side: 0 FT Corner: N/A FT
Building Maximum Height (FT):	5 Stories
Existing Use(s)	UNDEVELOPED SITE
Proposed Use(s)	Climate Controlled Storage

Area Data

Total Site Area (SF):	1.03 AC	44,866.80 SF	
Building Area (GSF):		18,200.00 SF	41%
Impervious Areas (SF):			
Building(s) Footprint:		18,200.00 SF	41%
PAVEMENT		7,051.41 SF	16%
CONCRETE		1,311.25 SF	3%
Total Impervious Area (SF)		26,562.66 SF	59%
Total Pervious Areas (SF):			
Urban Forest Area		18,304.14 SF	41%
Green Space/LS		4,653.00 SF	10%
		13,651.14 SF	31%

SITE INTENSITY RATIO

	88349.50
--	----------

Parking Data

Required Parking Spaces	
1 SP. Per 150 sf of Office (800 sf.)	5
Total:	5 spaces
Regular Spaces	7
Compact Spaces	0
Total Parking Spaces:	
Number of regular spaces provided:	6
Number of compact spaces provided:	0
Number of ADA spaces provided:	1
Total number of spaces provided on-site	7

Bicycle Parking Required:

Required number of bicycle parking spaces:	0.53
Proposed Bicycle Parking:	2

Landscape / Urban Forest Data

Redevelopment statistics:	
Redevelopment or New development?	New Development
Req'd VUA Landscape Islands:	2.00
Proposed VUA Landscape Islands:	2.00
Total Landscape Area Required	11,216.70 SF
Total Landscape Area Provided	13,651.14 SF
Required Urban Forest Area (SF)	4,486.68 SF
Urban Forest area provided (SF)	4,653.00 SF
Combination of LS area and UF area provided:	18,304.14 SF

ZONING NOTES:

- THE SITE MUST ABIDE BY LIGHTING STANDARDS, PER SEC. 10-427, T.L.D.C. AND WILL BE REVIEWED AT THE TIME OF THE BUILDING PERMIT.



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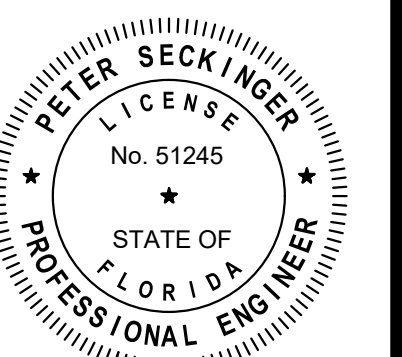
#	DATE & BY
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3.	11/3/25 PER DRC
4.	11/22/25 PER DRC
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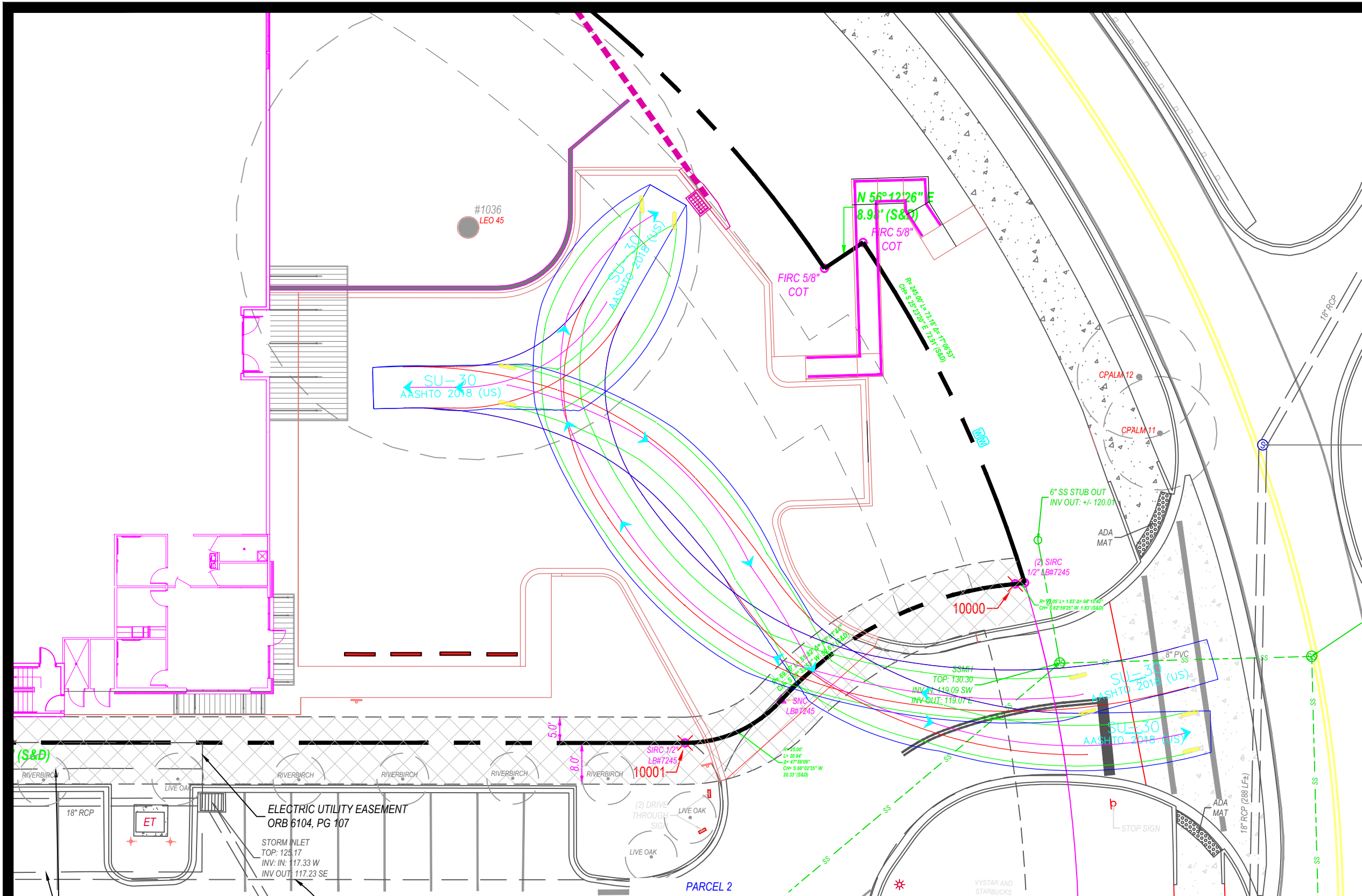
SCALE: AS SHOWN

SITE PLAN C 3.0

SHEET

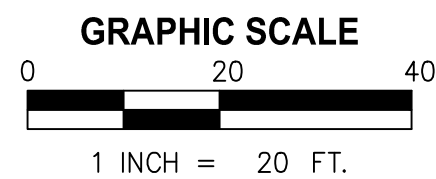


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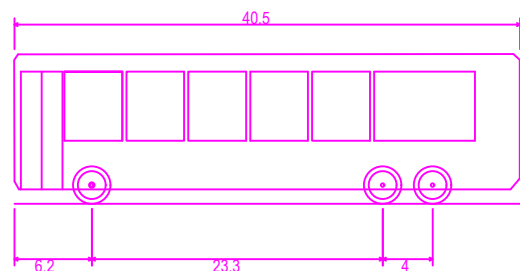


BOX MOVING TRUCK TURNING PLAN

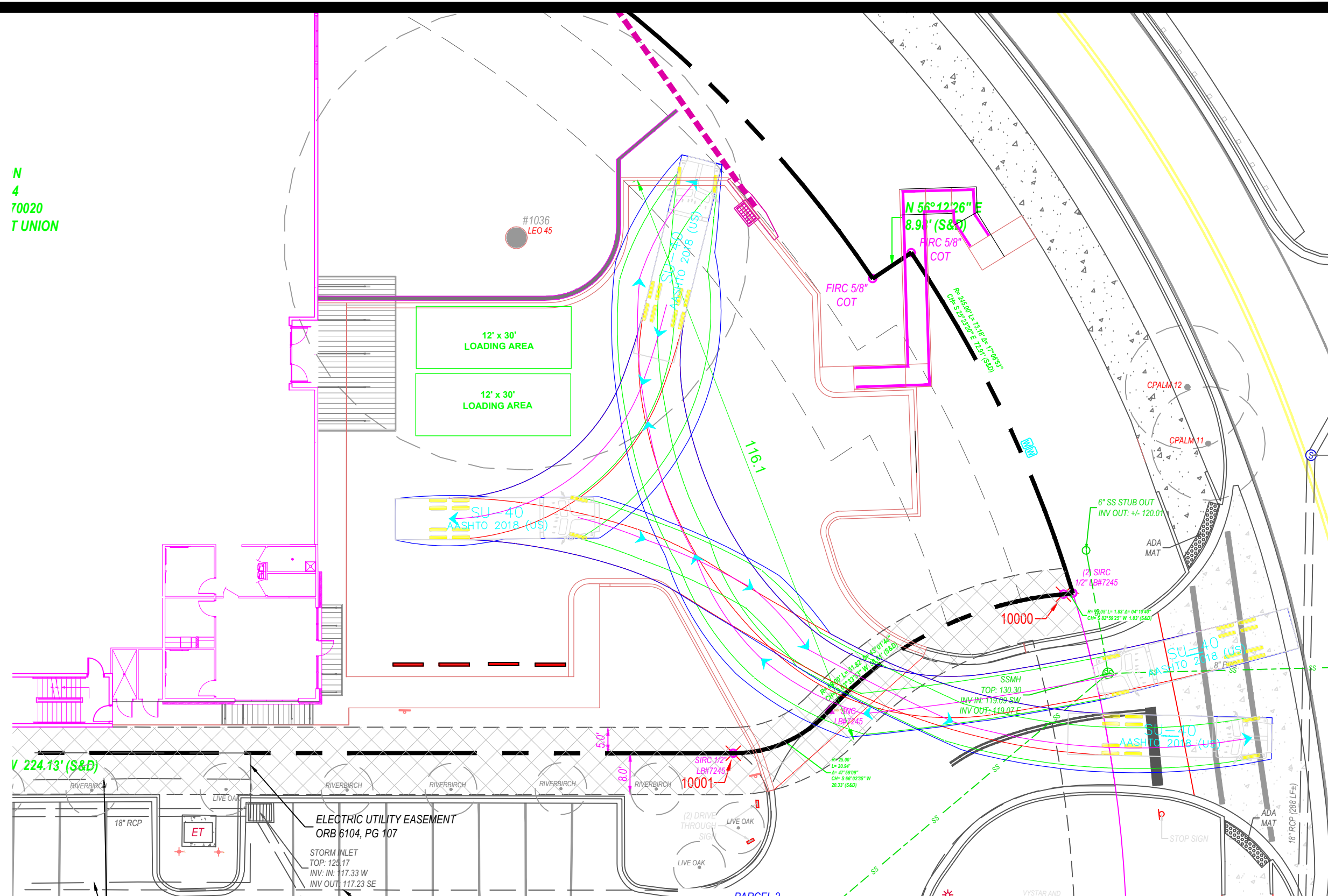
LEGEND	
—	VEHICLES BODY
—	FRONT TIRE PATH
—	REAR TIRE PATH



FIRE / SOLID WASTE (BUS-40)

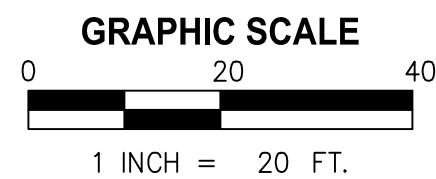


BUS-40 - Inter City Bus	
Overall Length	40.500ft
Overall Width	8.500ft
Overall Body Height	12.000ft
Min Body Ground Clearance	1.158ft
Track Width	8.500ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	41.90°



FIRE TRUCK TURNING MOVEMENT PLAN

LEGEND	
—	VEHICLES BODY
—	FRONT TIRE PATH
—	REAR TIRE PATH



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PROFESSIONALS
2940 Kerry Forest Pkwy
Suite 101
Tallahassee, FL 32309
ph: 850.296.3668
fax: 770.818.5663
co #9938

DESIGN OFFICE:

Construction Documents
PREPARED FOR:

Arun Kundra & Sumit Agarwal
2616 Gamble Road
Monticello, FL 32344

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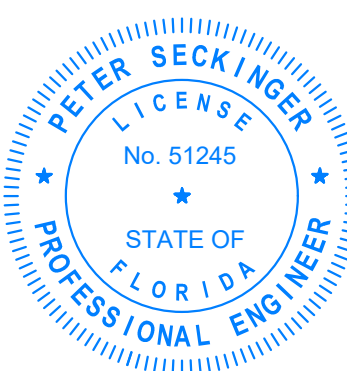
REVISIONS	
#	DATE & BY
2.	10/25/25 PER DRC
3.	11/3/25 PER DRC
4.	11/22/25 PER DRC
5.	12/3/25 PER DRC
6.	4/22/26 PER DRC
7.	7.20.26 PER COT

WEEMS ROAD STORAGE

Weems Road City of Tallahassee
Tax I.D. 1127202070020

PROJECT

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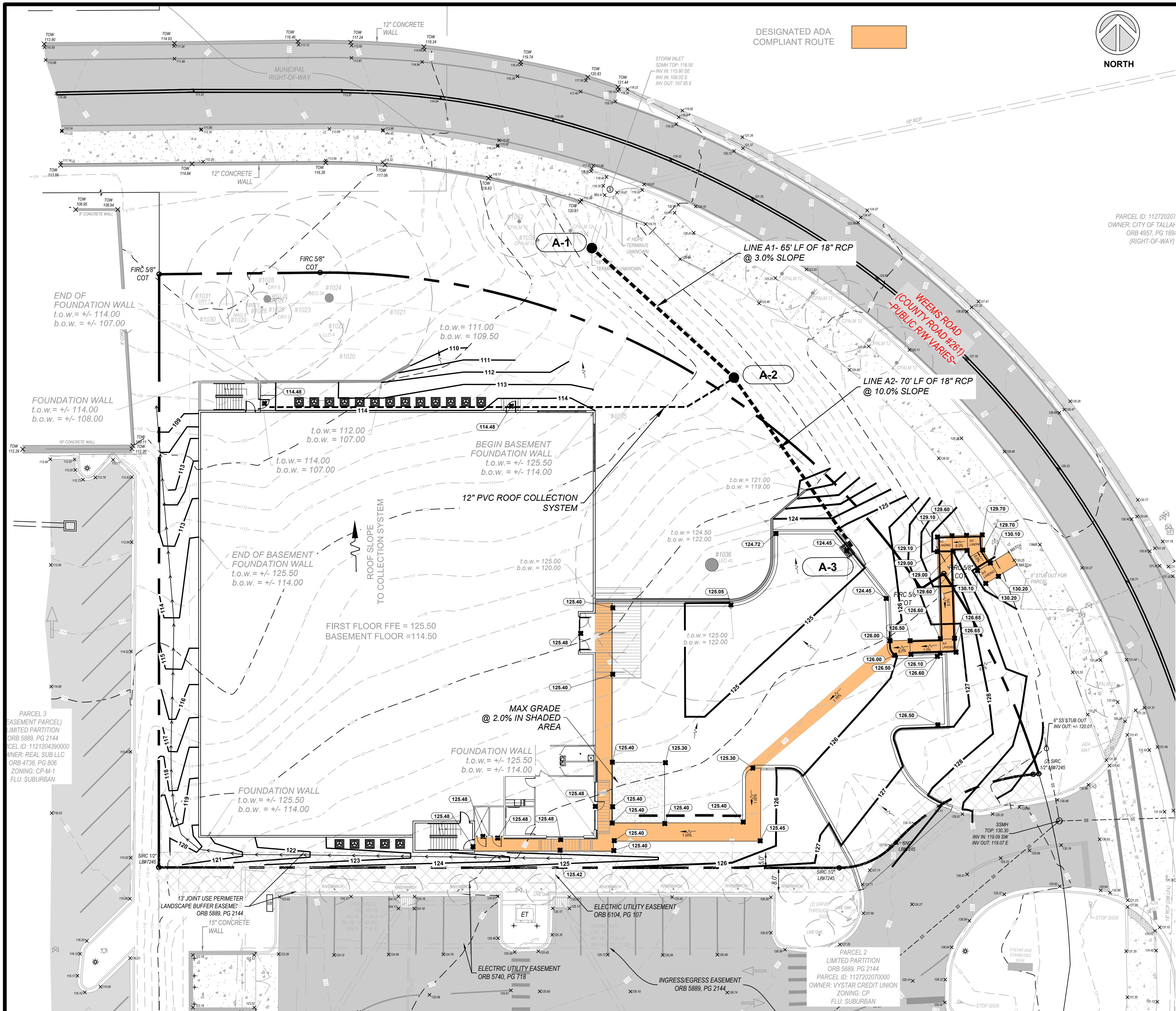


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PROJECT NO. 24400.01
DWG FILE - Weems Road Master.dwg
SCALE: AS SHOWN

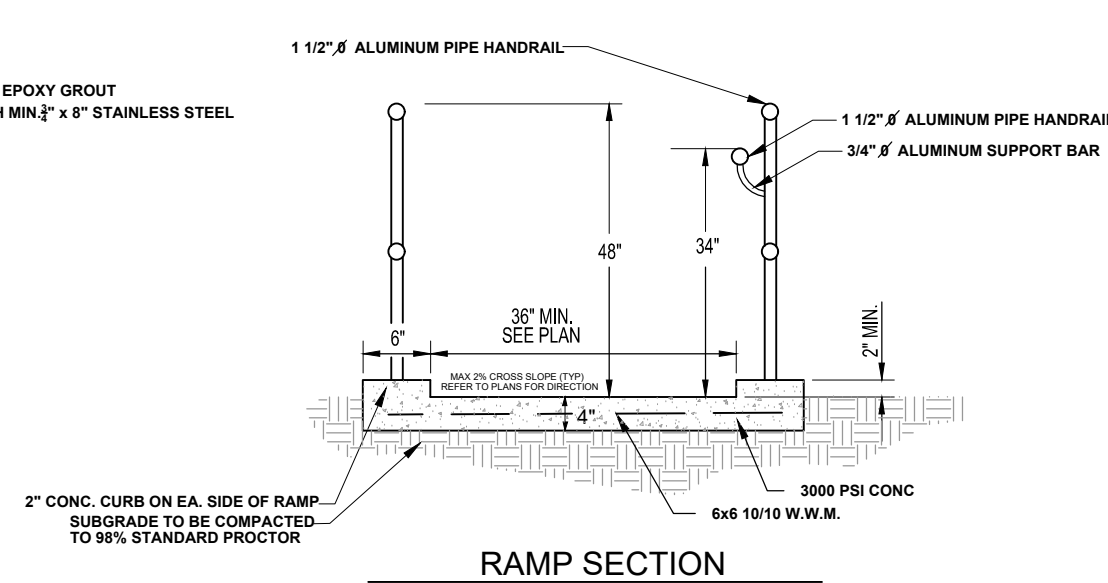
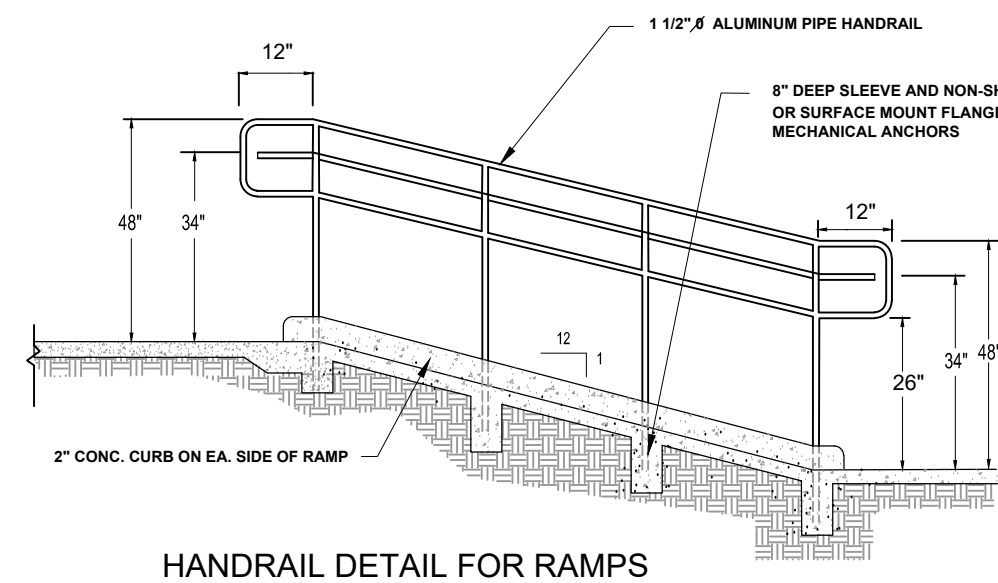
TURNING MOVEMENT
PLAN
C 3.1

SHEET



ALL ADA ROUTES, SIDEWALKS AND PARKING SHALL BE IN CONFORMANCE WITH FEDERAL ADA STANDARDS, LATEST EDITION.

ACCORDING TO FLOOD INSURANCE RATE MAP 12073 C0303F, DATED 8/18/2009 IS NOT WITHIN THE 100-YEAR FLOODPLAIN.



CPZ NOTE

NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS OR AN ORBORICULTURAL MITIGATION PLAN HAVE BEEN NOTED ON PLANS.



A-1

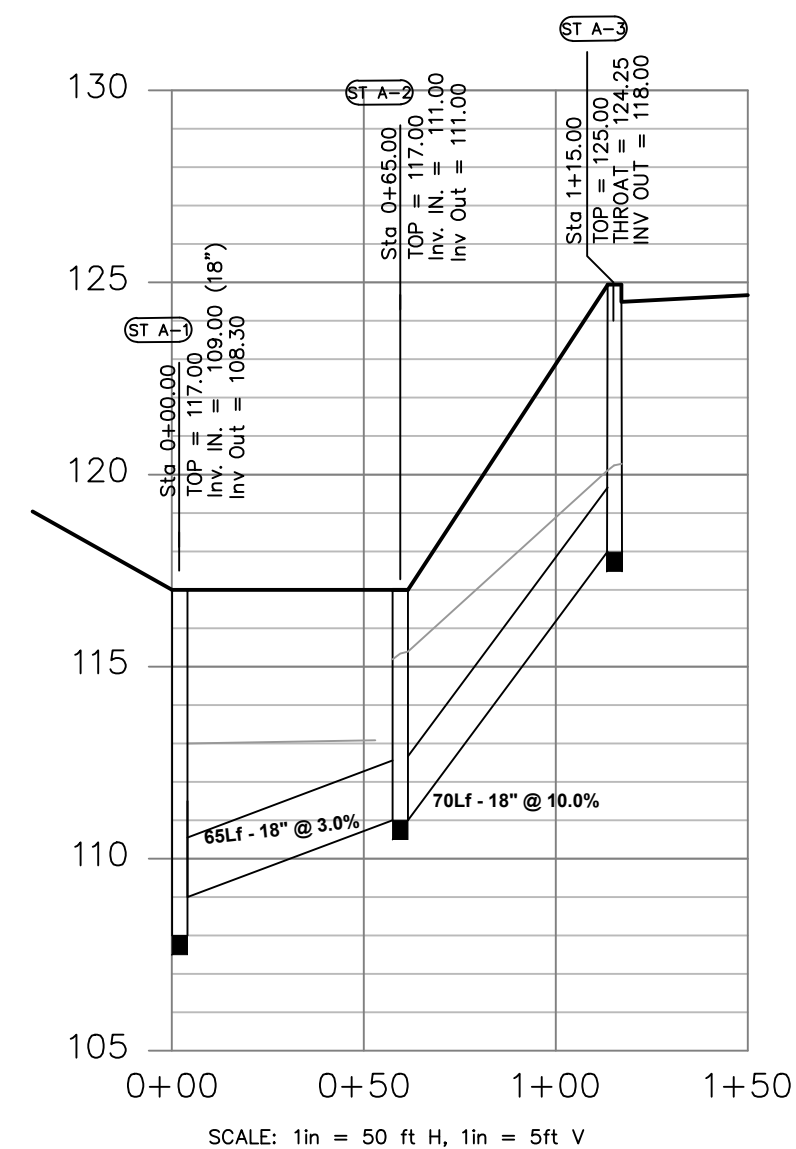
FDOT INDEX #425-010 TYPE J BOX
TOP = 117.00
INV IN = 109.00(18" SE)
INV OUT = 108.30

A-2

FDOT INDEX #425-010 TYPE J BOX
TOP = 117.00
INV IN = 111.00 (BOTH)
INV OUT = 111.00

A-3

FDOT INDEX # 425-021 TYPE 6 INLET
TOP = 125.00
THROAT = 124.25
INV OUT = 118.00



STORM LINE A PROFILE

CONTRACTOR NOTICE 2024 (effective December 31, 2025).

The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2023 Florida Building Code, Accessibility, 8th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A & FBC-B. The following items take precedence and supersede other site details on drawings:

1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3 & §502.3, FBC-A and F.S. 553.5041.
2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (HCU) parking to an accessible entrance. Re: §208.3.1 FBC-A & F.S. 553.5041(5)(b).
3. ACCESSIBLE PARKING spaces shall be 12 ft wide & outlined with blue paint. Re: §502.2 & §502.6 FBC-A.
4. ACCESS AISLES required adjacent to parking spaces shall be 5 ft wide with diagonal striping. Re: §502.3.1, FBC-A.
5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1/48) on a stable, firm & slip resistant surface. Re: §502.1 & §502.4 FBC-A.
6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60 inches from the ground to the bottom of the signs. Re: §502.6 FBC-A and F.S. 553.5041.
7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406, FBC-A.
8. CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A.
9. ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FBC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7 FBC-A.
10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Maximum rise of a ramp run is 30 inches on an accessible route. Re: §1012.8 FBC-B (Florida Building Code - Building) and §905.10 FBC-A.
11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope, unless ramps with proper handrails & handrail extensions are provided. AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.

* EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A.

GENERAL NOTES:

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL AHJ REGULATIONS AND CODES, O.S.H.A. STANDARDS AND PROJECT'S SPECIFICATIONS. MOST STRINGENT REQUIREMENTS SHALL GOVERN.

CONTRACTOR SHALL REFER TO THE BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS, PRECISE BUILDING DIMENSIONS, ARTICULATIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS

ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.

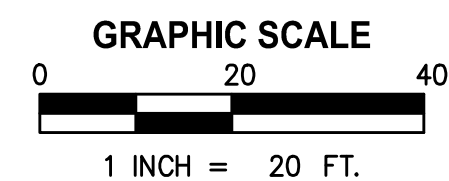
CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED IMPROVEMENTS SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE OF THE CONSTRUCTION PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQ'D. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PROJECT.

ALL SIDEWALK TO BE FLUSH WITH ASPHALT SO NO ADA RAMPS ARE REQUIRED FOR THIS PROJECT.

REFER TO GEOTECHNICAL REPORT FOR ALL PAVING SECTION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO SUBGRADE PREPARATION, REINFORCEMENT AND JOINT CONSTRUCTION.



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WEEMS ROAD STORAGE

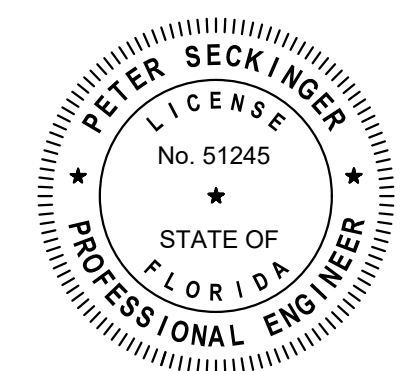
Weems Road City of Tallahassee
Tax ID: 1127202070020

PROJECT

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SECKINGER, PE ON THE DATE
INDICATED HERE

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DATE: DEC 19, 2024

PROJECT NO. 24400.01

DWG FILE -- Weems Road Master.dwg

SCALE: AS SHOWN

OVERALL & BUILDING
GRADING PLAN

C 4.0

SHEET

CITY OF TALLAHASSEE UTILITY CONCEPT APPROVAL

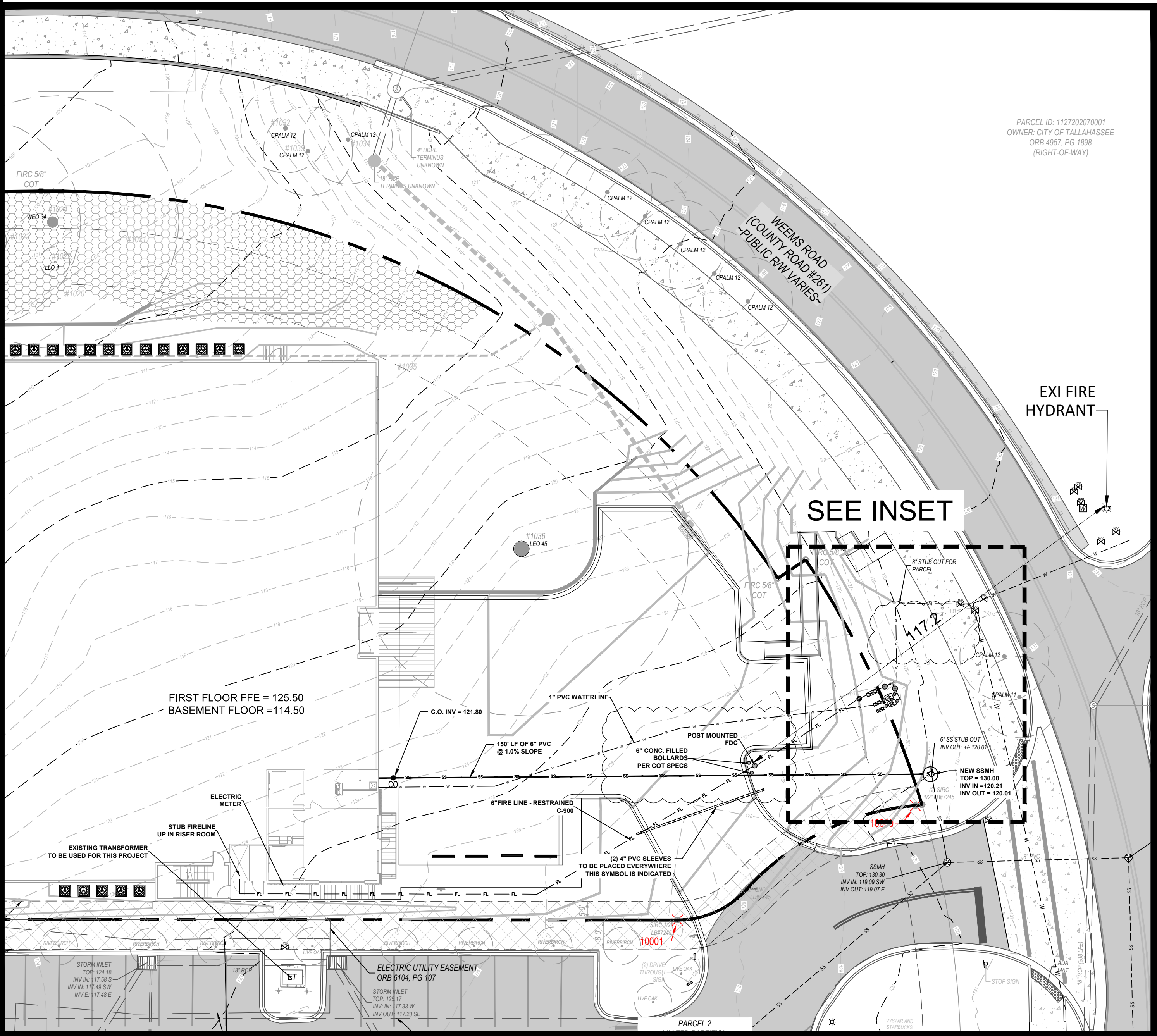
1. DEPTH OF FIRE MAIN PIPING (TO TOP OF PIPE)
36" MIN. UNDER DRIVING SURFACES
30" MIN. UNDER NON-DRIVING SURFACES
2. FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT.
3. FIRE HYDRANTS SHALL BE A MIN. OF 24" ABOVE GRADE MEASURED TO THE CENTER OF THE STEAMER NOZZLE.
4. STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF F.D. APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE.

1. THE CONTRACTOR SHALL OBTAIN A CROSS CONNECTION PERMIT (GM#324 @ 2602 JACKSON BLUFF ROAD.
2. THE CONTRACTOR SHALL OBTAIN A WATER UTILITY PERMIT FOR WATER SERVICE. CONTACT JIMMY LEE AT 850-891-6105

A MINIMUM OF 60 IN CLEAR SPACE SHALL BE MAINTAINED TO PERMIT ACCESS TO (AND OPERATION OF) FIRE PROTECTION EQUIPMENT, FIRE DEPARTMENT INLET CONNECTIONS, AND/OR FIRE PROTECTION SYSTEM CONTROL VALVES. NFPA 1, 13.1.4, SIXTH EDITION OF THE FLORIDA FIRE PREVENTION CODE

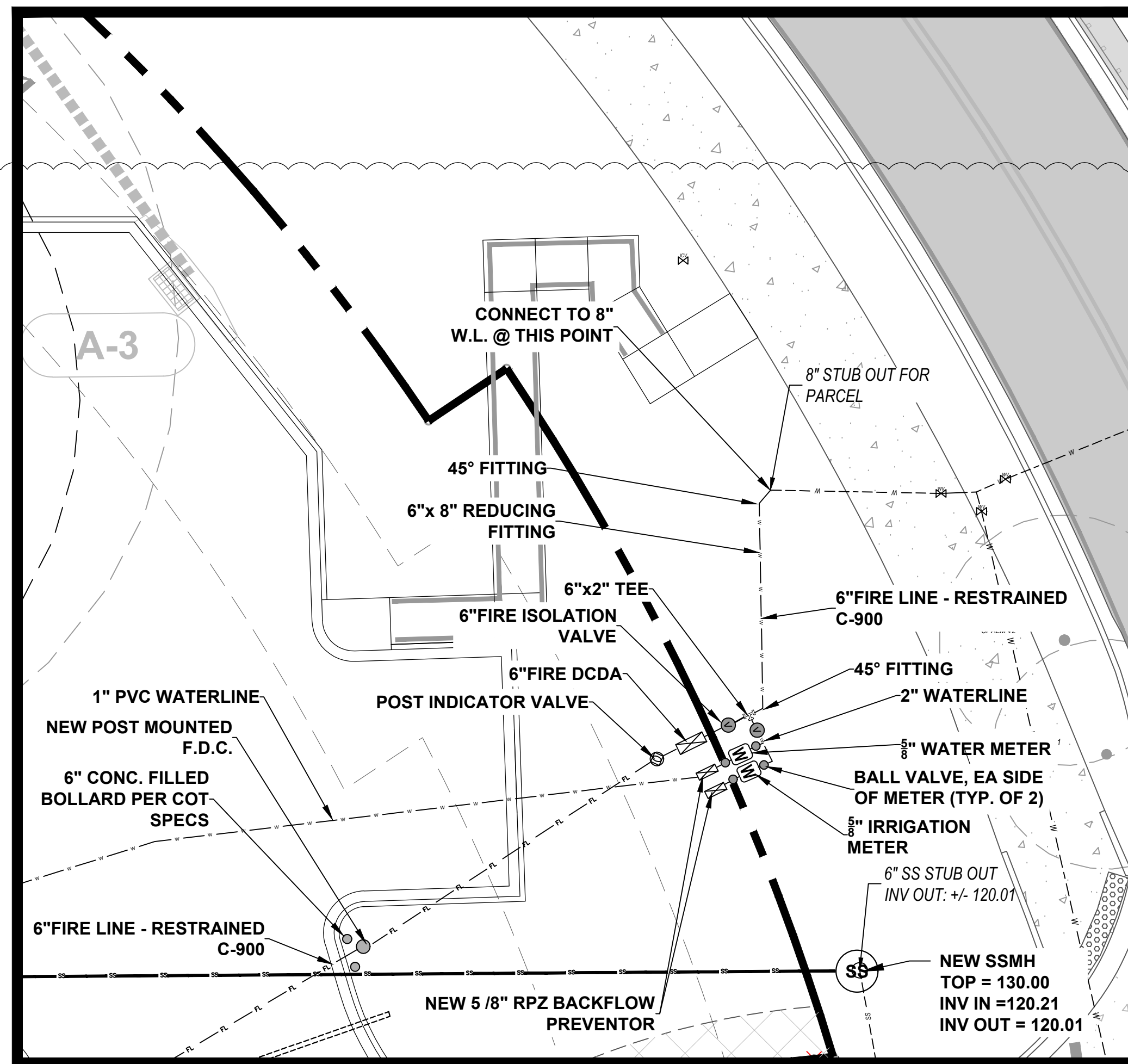
1. **UTILITY CONNECTION PLANS AND ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "CITY OF TALLAHASSEE TECHNICAL SPECIFICATION FOR WATER & SEWER CONSTRUCTION.**
2. **A RPZ BACKFLOW IS REQUIRED AS WELL AS TESTING BY A CERTIFIED TESTING COMPANY. CONTRACTOR WILL VERIFY ALL REQUIREMENTS BY CONTACTING 891-1245.**
3. **CONTRACTOR WILL TEST WATER AND SEWER WITHIN 10 DAYS OF INSTALLATION AND PROVIDE RESULTS TO COT-CROSS CONNECTION COORDINATOR.**
4. **COORDINATE WITH C.O.T. ELECTRICAL DEPARTMENT FOR EXACT TRANSFORMER PAD PRIOR TO CONSTRUCTION. ELECTRICAL CONDUIT BY OTHERS.**
5. **DEP PERMITS FOR WATER & SEWER WILL BE REQUIRED.**
6. **WATER RESOURCES ENGINEERING MUST APPROVE A "WATER AND SEWER SERVICE PLAN" PRIOR TO SITE PLAN APPROVAL.**

1. THE DEVELOPER SHALL REPAIR ANY DAMAGE TO THE ROW CAUSED DURING CONSTRUCTION, SUCH AS REPLACE ANY CURB & GUTTER AND OTHER EXISTING INFRASTRUCTURE THAT IS DAMAGED DUE TO THE DEVELOPMENT CONSTRUCTION.
2. A RIGHT-OF-WAY MANAGEMENT PERMIT MUST BE ISSUED FOR THIS PROJECT. PLEASE CONTACT TYLER HARRISON @ (850) 891-8476 FOR THIS ITEM. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH THE CURRENT FDOT DESIGN STANDARDS.
3. **CONTACT ELIZABETH BIRRIEL @ (850) 891-8265 TO OBTAIN A MOT PERMIT PRIOR TO ANY MOT DEVICES BEING PLACE.**



UTILITY LEGEND

—	EXISTING SEWER SERVICE
— W	EXISTING WATER SERVICE
— S	SANITARY SEWER
● CO	NEW CLEAVERT IN LANDSCAPE AREA
NEW CLEAVERT IN PAVED AREA	
— W	NEW WATER SERVICE
— H/W	NEW HOT WATER SERVICE
— POWER	NEW UNDERGROUND ELECTRIC SERVICE
— F&T	NEW PHONE AND INTERNET SERVICE
— GAS	NEW GAS SERVICE
⑤	EXISTING S.S.H.M.
⑥	EXISTING W.M.
⚡	EXISTING W.V.
⚡	EXISTING F.H.
⚡	NEW F.H.
⚡	EXISTING POWER/UTILITY POLE
⚡	EXISTING TRAFFIC POLE
⚡	NEW POWER POLE
⚡	NEW SITE LIGHT
NEW S.S.H.M.	
NEW W.M.	



METER AREA ENLARGEMENT PLAN

GRAPHIC SCALE 0 10 20
1 INCH = 10 FT

 **METER AREA ENLARGEMENT PLAN**

GRAPHIC SCALE 0 10 20



1 INCH = 10 FT.



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ca #9938

DESIGN OFFICE

Construction Documents
PREPARED FOR:

Arun Kundra & Sumit Agarwa
2616 Gamble Road
Monticello, FL 32344

CLIENT

REVISIONS

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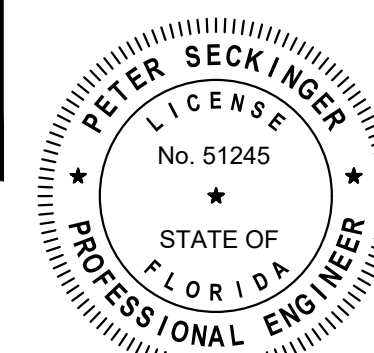
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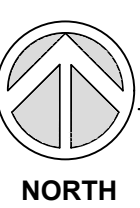
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DWG FILE - Weems Road Master.dwg

SCALE: AS SHOWN

UTILITY
PLAN
C 6.0

C 0.0 SHEE



UTILITY PLAN

GRAPHIC SCALE

0 40

1 INCH = 40 FT.

GRAPHIC SCALE

0 40 80



1 INCH = 40 FT.

GRAPHIC SCALE

0 40 80



1 INCH = 40 FT.

URBAN FOREST MANAGEMENT PLAN:

IMPROVING AND MANAGING THE URBAN FOREST AREA IS INTENDED TO INTEGRATE THE EXISTING FEATURES VISUALLY AND PHYSICALLY WITH THE SITES OVERALL SITE PLAN. THE RESULTS WILL YIELD A QUALITY NATURAL FOREST COMMUNITY WITH DIVERSE HABITAT THAT ENCOURAGES WILDLIFE AREAS AND PRESERVES ECOLOGICAL DIVERSITY.

ALL MAINTENANCE OF THE URBAN FOREST AREAS WILL CONFORM TO THE CITY OF TALLAHASSEE LAND DEVELOPMENT CODE.

USE: THE AREA IS LIMITED TO PASSIVE USES ONLY AND SHALL REMAIN PRIMARILY UNDISTURBED TO MAINTAIN THE MID-LEVEL UNDER STORY VEGETATION AND LOWER HERBACEOUS LAYER AND FOREST FLOOR.

MAINTENANCE ACTIVITY: MINIMAL ACTIVITY IS ALLOWED IN THIS AREA AND SHALL NOT DISTURB THE EARTH OR ROOT SYSTEMS IN ANY WAY. NO STORAGE OF WASTE OR HAZARDOUS MATERIALS SHALL OCCUR WITHIN THIS AREA.

PRUNING: ONLY PRUNING OF DEAD OR DISEASED LIMBS SHALL BE ALLOWED. ANY AND ALL PRUNING SHALL BE PERFORMED TO A NATIONAL ASSOCIATION OF ARBORIST STANDARDS AND SHALL BE SUPERVISED BY A CERTIFIED ARBORIST.

ADDITIONAL PLANT MATERIAL: THE PLANTING OF APPROPRIATE NATIVE OR ADAPTED SPECIES MAY OCCUR. NO TILLING OR CULTIVATION SHALL OCCUR WITHIN THE EASEMENT.

MULCHING: ANY BARE GROUND AREAS SHALL BE AMENDED WITH APPROPRIATE "CLEANED" AND WEED MULCH APPROVED BY A CERTIFIED ARBORIST OR LICENSED LANDSCAPE ARCHITECT. NO MULCH FROM TREE CUTTING OR OTHER CLEARING ACTIVITIES SHALL BE ALLOWED TO ABATE THE INTRODUCTION OF NOXIOUS PLANT MATERIAL.

FERTILIZATION: IF DETERMINED NECESSARY, A SLOW RELEASE ORGANIC FERTILIZER MAY BE PROVIDED AT THE MINIMUM RATE PER MANUFACTURER'S INSTRUCTIONS.

IRRIGATION: IF NEEDED, SUPPLEMENTAL IRRIGATION CAN BE PROVIDED BY THE USE OF ABOVE GROUND MEANS.

TOPOGRAPHIC MODIFICATIONS: TRANSITIONAL AREAS AT THE EDGE OF THE CONSERVATION EASEMENT SHOULD MERGE WITH THE SURROUNDING LAND TYPE. AVOID ANY EROSION OR FILL SOIL ACTIVITY THAT MIGHT IMPACT THE MARGINS OF THE AREA.



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MINIMUM URBAN FOREST AND LANDSCAPE AREA REQUIREMENTS	
TOTAL SITE AREA	44,866.80
COMBINED LANDSCAPE & URBAN FOREST REQUIRED (35%)	15,703.38
(FYR) PERIMETER NATIVE APPLIED LULU 5-85 (e)(1)(i))	
URBAN FOREST AREA REQUIRED (10%)	4,486.68
URBAN FOREST AREA PROVIDED	4,653.00
LANDSCAPE AREA REQUIRED (25%)	11,216.70
LANDSCAPE AREA PROVIDED	12,782.12
TOTAL URBAN FOREST & LANDSCAPE AREA PROVIDED	17,268.80

REFORESTATION REQUIREMENTS	
SITE AREA (AC)	1.03
MINIMUM # OF TREE CREDITS REQUIRED (40 TREE CREDITS/ACRE)	41.2
TOTAL PRESERVATION CREDITS	111
TOTAL REPLANTING CREDITS	100
TOTAL TREE CREDITS PROVIDED	211

URBAN FOREST MITIGATION REQUIREMENTS	
MIN. URBAN FOREST AREA REQ'D	4,486.68
TREES REQUIRED (1/324 sf)	14 TREES
EXISTING TREES	7 TREES
PROPOSED TREES	10 TREES
CANOPY TREES REQ'D (75%)	11 TREES
CANOPY TREES EXISTING	11 TREES
UNDERSTORY TREES REQ'D (25%)	3 TREES
UNDERSTORY TREES PROVIDED	3 TREES
SHRUBS REQ'D (3 per Tree)	42 SHRUBS
SHRUBS PROVIDED	42 SHRUBS

NATURAL AREA/LANDSCAPE/PARKING LOT LANDSCAPE COMPLIANCE	
PARKING LOT LANDSCAPE (VUA)	
VUA PERMETER PLANTINGS:	TREES: 1 PER 25 SF OF VUA AREA = 103.57 SF OF VUA
REQ'D:	103.57 (25) = 4.14 TREES
PROPOSED:	6 TREES PROPOSED. THEREFORE CRITERIA MET
PROPOSED PLANTINGS:	
VUA ISLANDS: REQ'D (1) 400 S.F. ISLAND PER 4,000 S.F. OF VUA (6,997.41)	
REQ'D:	6,997.41 / 4,000 = 2 ISLANDS
PROPOSED:	2 LANDSCAPE ISLANDS PROPOSED

IRRIGATION NOTE:

THE FINAL IRRIGATION DESIGN AND SPECIFICATIONS SHALL BE PROVIDED BY IRRIGATION CONTRACTOR. PLEASE NOTE THAT ALL IRRIGATION METHODS USED SHALL NOT IMPACT THE CPZ OF THE EXISTING TREES AND THE DESIGN SHALL PROVIDE FOR 100% COVERAGE OF ALL LANDSCAPE AREAS.

- ALL PROPOSED TREES, BEDDING AREAS, SLOPES AND REMAINING EXPOSED EARTHEN AREAS ARE TO BE MULCHED WITH 3" MIN. OF PINE STRAW APPLIED PER SPECS. FURTHERMORE, PINE STRAW MULCH SHALL BE PLACED AROUND ALL TREES BENEATH THEIR CANOPY FOR LIMITS OF THE CANOPY UNLESS OTHER GROUND COVER HAS BEEN INDICATED PER THE LANDSCAPE PLAN.
- TREES & SHRUBS SHALL NOT BE PLANTED CLOSER THAN THREE FEET FROM THE EDGE OF ANY IMPERVIOUS AREA.
- WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTING, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY OR A ROOT BARRIER OF TWO FEET DEEP SHALL BE INSTALLED.
- PROPOSED LANDSCAPING MAY NEED TO BE ADJUSTED ON THE POINT OF ELECTRICAL SERVICE CAN BE DETERMINED. NO TALL GROWING TREES WITH A MATURE HEIGHT ABOVE 14 FEET ARE ALLOWED WITHIN THIRTY FEET OF AN EXISTING OVERHEAD POWER LINE.

IRRIGATION NOTE:

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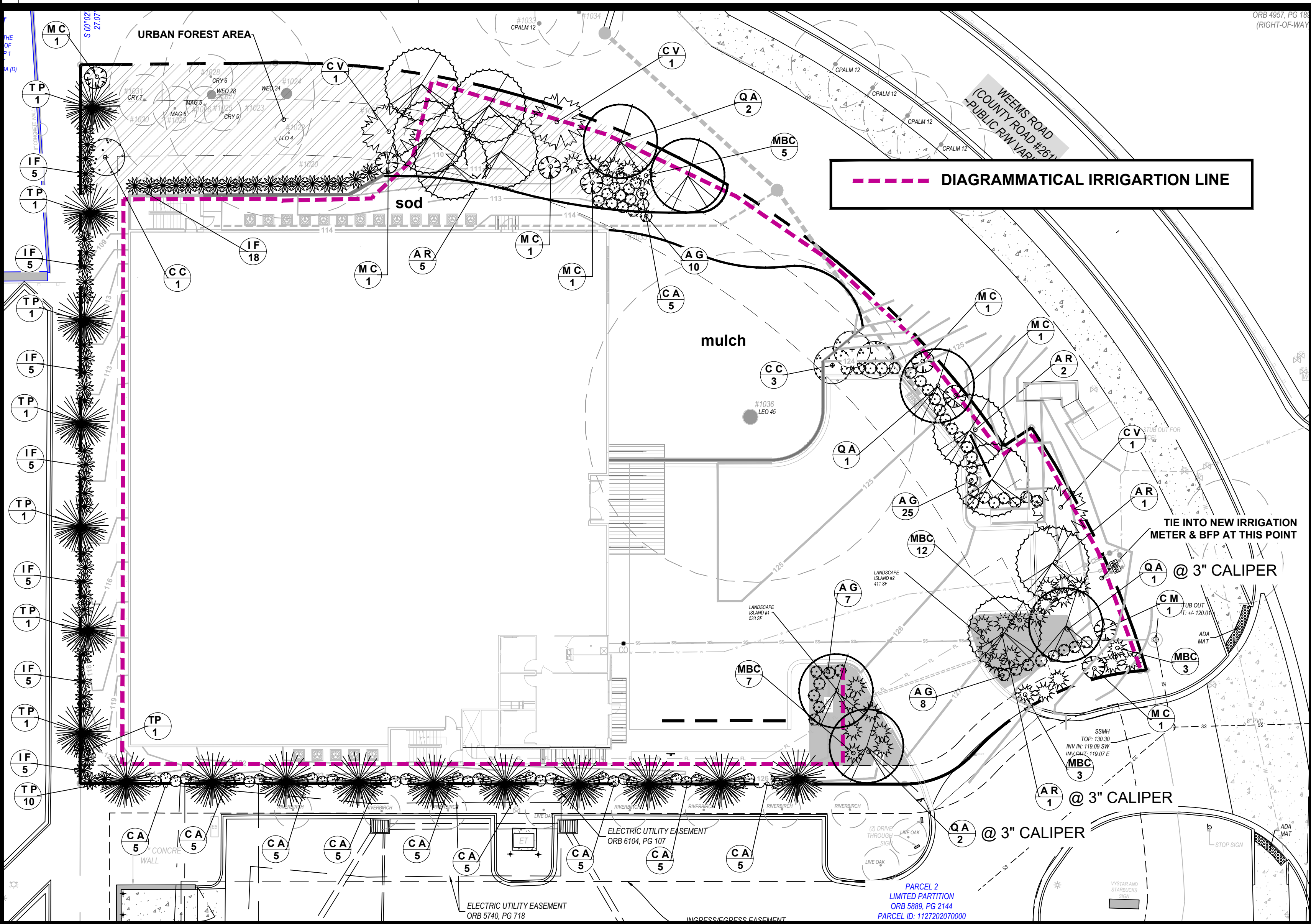
FIRE DEPARTMENT LANDSCAPE NOTES:

A MINIMUM OF 36 IN. CLEAR SPACE SHALL BE MAINTAINED TO PERMIT ACCESS TO (AND OPERATION OF) FIRE PROTECTION EQUIPMENT, FIRE DEPARTMENT INLET CONNECTIONS, AND/OR FIRE PROTECTION SYSTEM CONTROL VALVES. NFPA 1, 13.1.4, SIXTH EDITION OF THE FLORIDA FIRE PREVENTION CODE

A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524mm) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2 IN. (64mm).

PLANTING NOTES:

- ALL PLANTING MATERIAL SHALL BE NO. 1 OR BETTER AND CONFORM TO THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF "GRADES & STANDARDS FOR NURSERY PLANTS" SECOND EDITION, STATE OF FLORIDA, DEPT. OF AGRICULTURE, TALLAHASSEE.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS SPECIMENS FREE FROM INSECTS AND DISEASE AND SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL.
- ALL PLANTING SHALL BE COMPLETED IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES; THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MAINTENANCE INCLUDING, BUT NOT LIMITED TO: PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, WEEDING, SETTLING, SPRAYING, FERTILIZATION AND PLANTING UNTIL ACCEPTABLE BY OWNER.
- PLANT MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- THE PLANTING MIX SHALL CONSIST OF 5 PARTS TOPSOIL & 1 PART HUMUS, COW MANURE, COARSE SAND, 6-12-12 FERTILIZER ADDED AT THE RATE OF 5 POUNDS PER CUBIC YARD.
- ALL PLANT MATERIAL SHALL BE MULCHED WITH 3" OF CLEAN PINE STRAW.
- ALL GRASS, OTHER VEGETATION & DEBRIS SHALL BE REMOVED FROM PLANTING AREAS PRIOR TO PLANTING. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL EXCESS EXCAVATED SOIL AND ALL DEBRIS FROM THIS OPERATION.
- PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY; THEY MUST BE VERIFIED BY CONTRACTOR PRIOR TO CONTRACT AWARD.
- THE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS.
- PRIOR TO PLANT INSTALLATION, THE CONTRACTOR SHALL STAKE AND/OR FLAG THE LOCATION OF ALL PLANT MATERIAL AND BED LINES FOR LANDSCAPE ARCHITECT'S APPROVAL; LOCATION ADJUSTMENTS MAY BE NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING; FINAL SHAPING OF ALL LAWN AREAS AND PLANT BEDS WILL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO SEEDING AND PLANTING; ADJUSTMENTS MAY BE NECESSARY FOR APPROVAL.
- CONTRACTOR SHALL TEST PLANT PITS FOR DRAINAGE; IF ANY PIT HOLDS WATER MORE THAN 24 HOURS, THE CONTRACTOR SHALL AMEND THE EXISTING SOIL BY WORKING ORGANIC MATERIAL AND/OR SAND INTO SOIL AS NECESSARY UNTIL PLANTING PITS DRAIN WITHIN 24 HOURS.



TREE CREDITS (SEE DEMOLITION PLAN - SHEET 2.0)

GRAND TOTAL PRESERVATION CREDIT 111

TREE DEBITS (SEE DEMOLITION PLAN - SHEET 2.0)

GRAND TOTAL DEBITS 151

REPLANT FORMULA (DEBITS - CREDITS) = 40

REFORESTATION FORMULA (CREDITS + REPLANTS = OR > 40* DEVELOPED AREA)

REQUIRED TREE CREDITS PER ACRE 40 DEV. AREA 1.03 = REQUIRED TREE CREDITS 41.2 41 TREE CREDITS REQUIRED

PROPOSED TREE CREDITS

Category A				Category B			Category C			Category D		
DIA. OF TREE PLANTED (IN DBH)	# of TREES	CREDITS	TOTAL "A" CREDITS	# of TREES	CREDITS	TOTAL "B" CREDITS	# of TREES	CREDITS	TOTAL "C" CREDITS	# of TREES	CREDITS	TOTAL "D" CREDITS
2"-3"	28	1	28	6	3	18	0	5	0	9	6	54
4"-6"	0	2	0	0	5	0	0	6	0	0	8	0
7"-12"	0	3	0	0	6	0	0	8	0	0	16	0
CATEGORY TOTALS				28		18			0			54

TREE CREDITS FOR PLANTED TOTALS 100

TREE CREDITS FOR PRESERVED TREES 111

TOTAL TREE CREDITS 211 Requirement has been met onsite.

FEET IN LBS OF PLANTING REQUIRED 0 X \$245 = \$- FEET IN LBS REQUIRED AS CREDITS EXCEEDED REQUIREMENT

PLANT SCHEDULE

SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	8	Acer rubrum	Red Maple	2" cal. min.	Straight Trunk, Well-Branching
AR	1	Acer rubrum	Red Maple	3" cal. min.	Straight Trunk, Well-Branching
QA	3	Quercus acutissima	Sawtooth Oak	2" cal. min.	Straight Trunk, Well-Branching
QA	3	Quercus acutissima	Sawtooth Oak	3" cal. min.	Straight Trunk, Well-Branching
TP	19	Thuja plicata	Green Valley Arborvitae	2" cal. min.	Straight Trunk, Well-Branching
UNDER STORY TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CC	6	Cercis canadensis	Red Bud	2" cal. min.	Straight Trunk, Well-Branching
CV	3	Chionanthus virginicus	Fringe Tree	2" cal. min.	Straight Trunk, Well-Branching
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AG	50	Abelia x grandiflora	Glossy Abelia	3 Gallon	Free of Pest and Disease
CA	50	Callicarpa americana	American Beautyberry	3 Gallon	Free of Pest and Disease
IF	53	Illicium parviflorum	Florida Anise	3 Gallon	Free of Pest and Disease
MBC	30	Muhlenbergia capillaris	Pink Muhley Grass	3 Gallon	Free of Pest and Disease
MC	9	Myrica cerifera	Wax Myrtle	3 Gallon	Free of Pest and Disease
GROUND COVER	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CD		Cynodon dactylon	Hybrid Bermuda Grass		



CONSOLIDATED
DESIGN
PROFESSIONALS

2940 Kerry Forest Pkwy
Suite 101
Tallahassee, FL 32309
ph: 850.296.3668
fax: 770.818.5663
ca #9938

DESIGN OFFICE

Construction Documents
PREPARED FOR:

Arun Kundra & Sumit Agarwal
2616 Gamble Road
Monticello, FL 32344

CLIENT

REVISIONS	
#	DATE & BY
3.	11/3/25 PER DRC
4.	11/22/25 PER DRC
5.	12/22/25 PER DRC
6.	4/22/26 PER DRC
7.	7.20.26 PER COT

WEEMS ROAD STORAGE

Weems Road City of Tallahassee
Tax I.D. 1127202070020

PROJECT

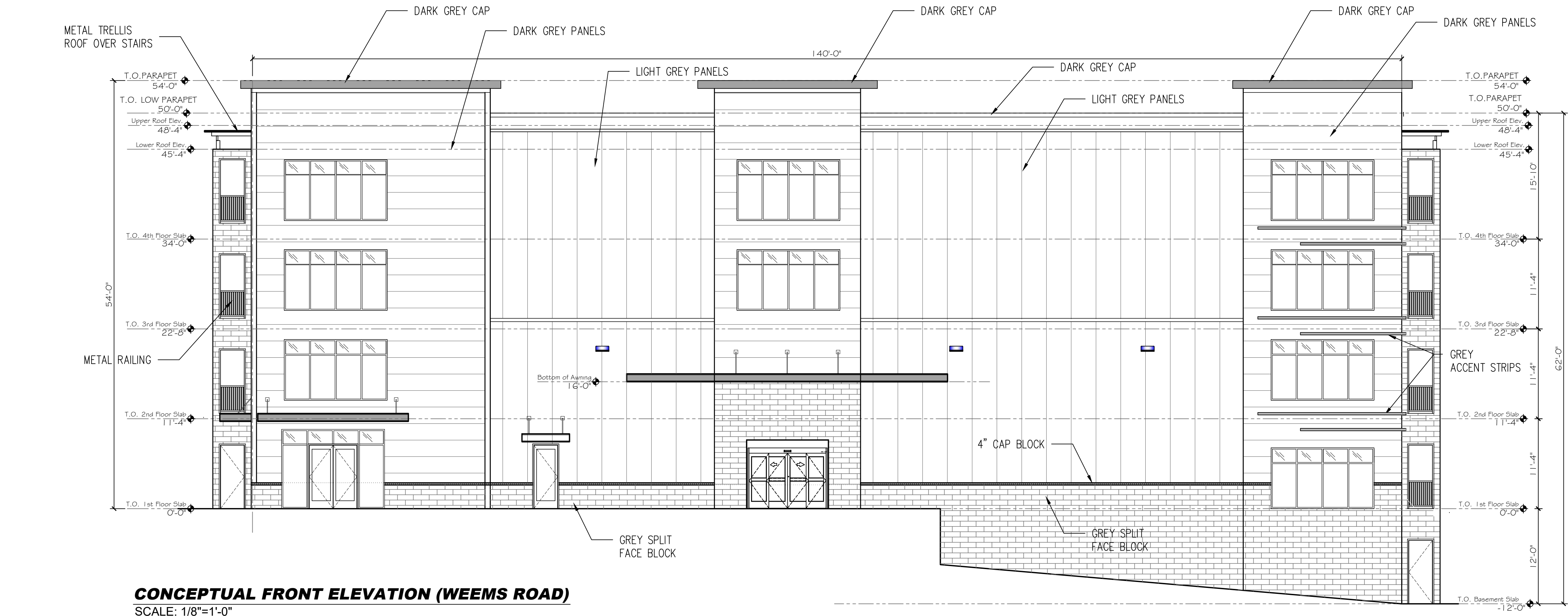
THIS DOCUMENT HAS BEEN DIGITALLY
SIGNED AND SEALED BY PETER R.
SECKINGER, PE ON THE DATE
INDICATED HERE
PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED.
THE SIGNATURE MUST BE VERIFIED ON
THE ELECTRONIC DOCUMENTS.



SEAL

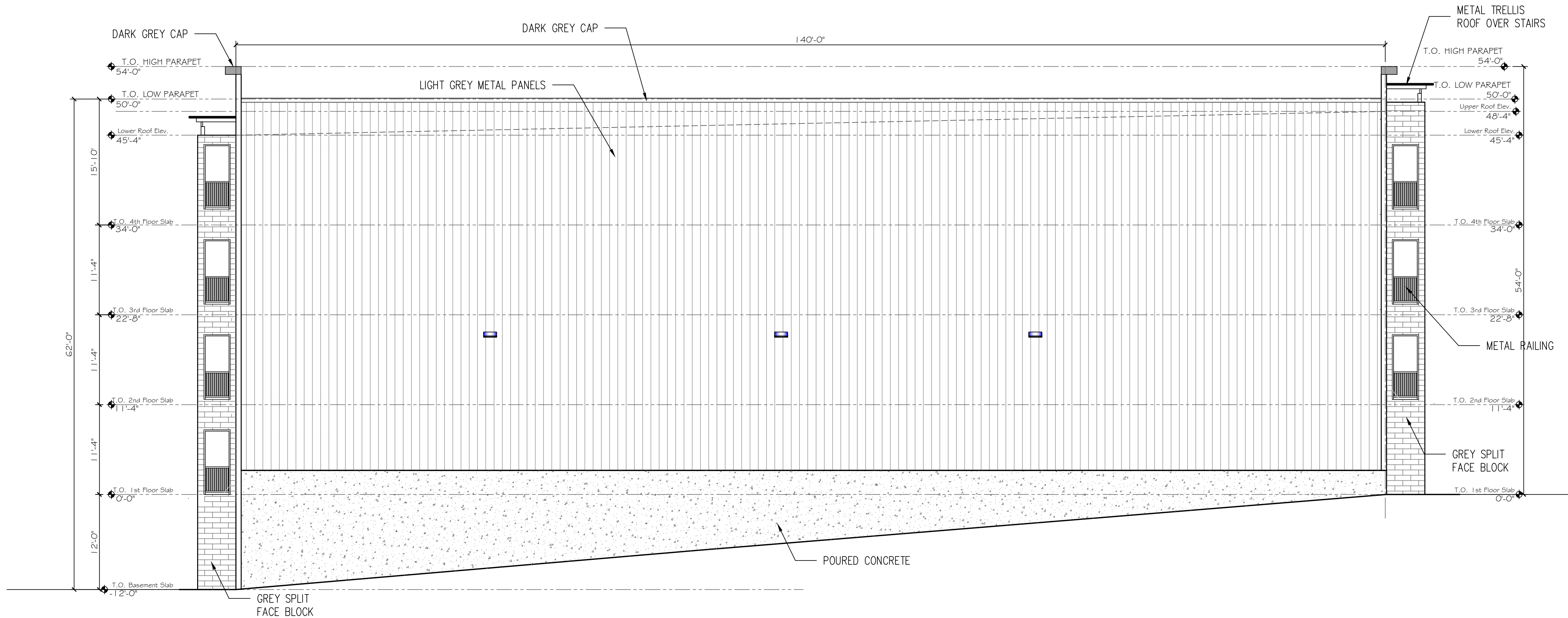
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PROJECT NO. 24400.01
DWG FILE - Weems Road Master.dwg
SCALE: AS SHOWN

LANDSCAPE
PLAN
L1.1
SHEET



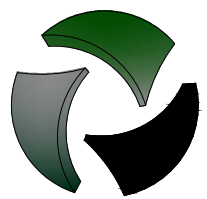
CONCEPTUAL FRONT ELEVATION (WEEMS ROAD)

SCALE: 1/8"=1'-0"



CONCEPTUAL REAR ELEVATION (SPORTS AUTHORITY)

SCALE: 1/8"=1'-0"



CONSOLIDATED
DESIGN
PROFESSIONALS
CA #9938

2940 Kerry Forest Parkway
Suite 101
Tallahassee, FL 32309
ph: 850.296.3668
fax: 770-818-5663

PROJECT MANAGER

BASE

brand studios

ARCHITECT

Construction Documents
PREPARED FOR:

PROJECT INFORMATION

WEEMS ROAD STORAGE

Weems Road City of Tallahassee
Tax I.D. 1127202070020

CERTIFICATION

ISSUE DATES

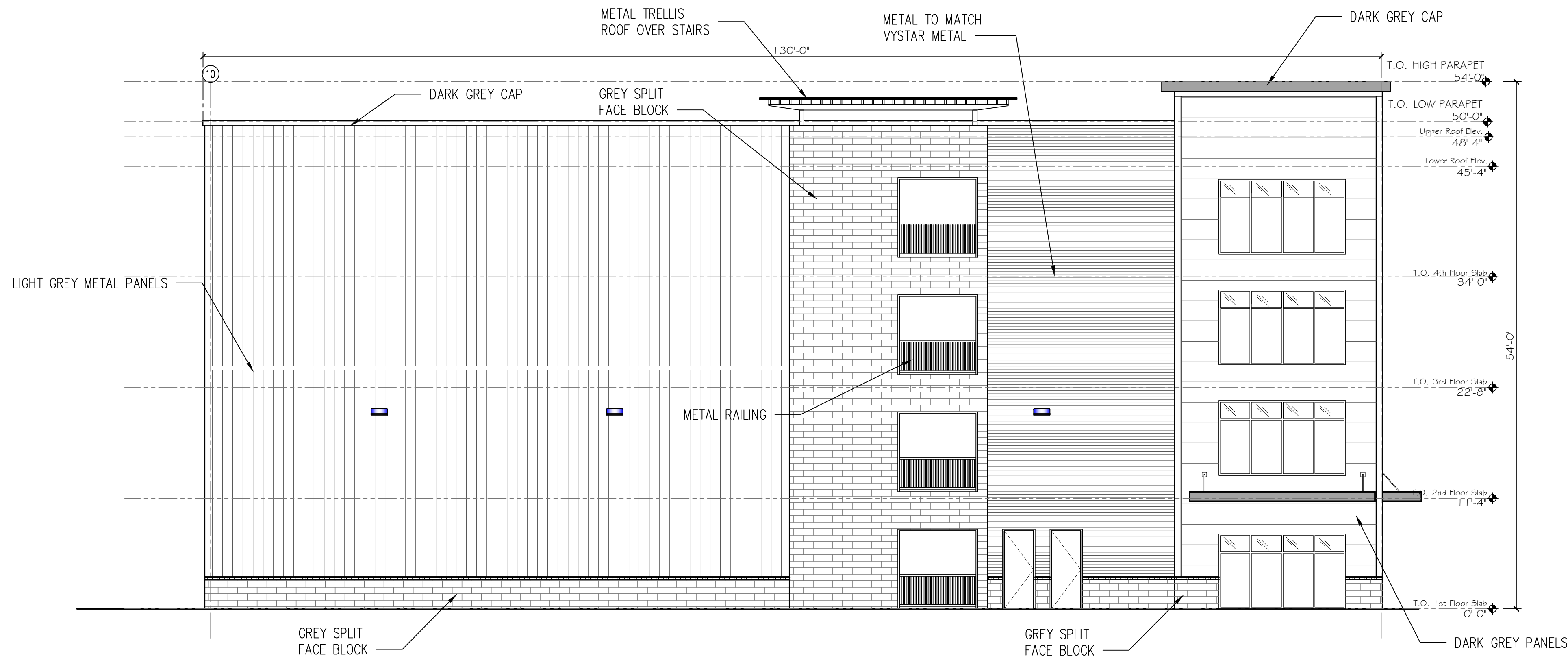
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DATE: 2.10.25

Weems Road Master.dwg

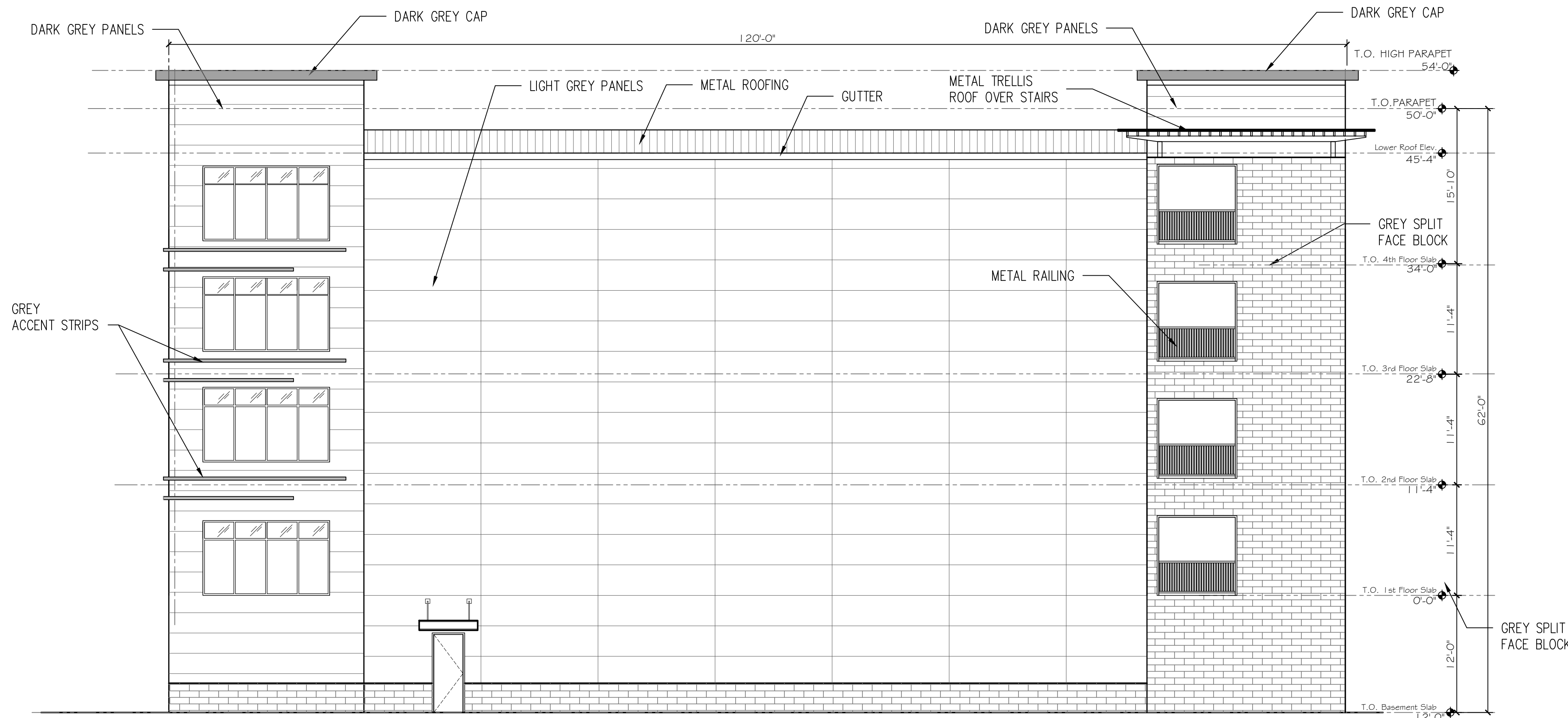
BUILDING
ELEVATIONS

A - 201



CONCEPTUAL SIDE ELEVATION (VYSTAR SIDE)

SCALE: 1/8"=1'-0"



CONCEPTUAL SIDE ELEVATION (WEEMS ROAD)

SCALE: 1/8"=1'-0"