

U-HAUL

817 Appleyard Drive

Tallahassee, Florida

Development Team

Owner:

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Geotech:

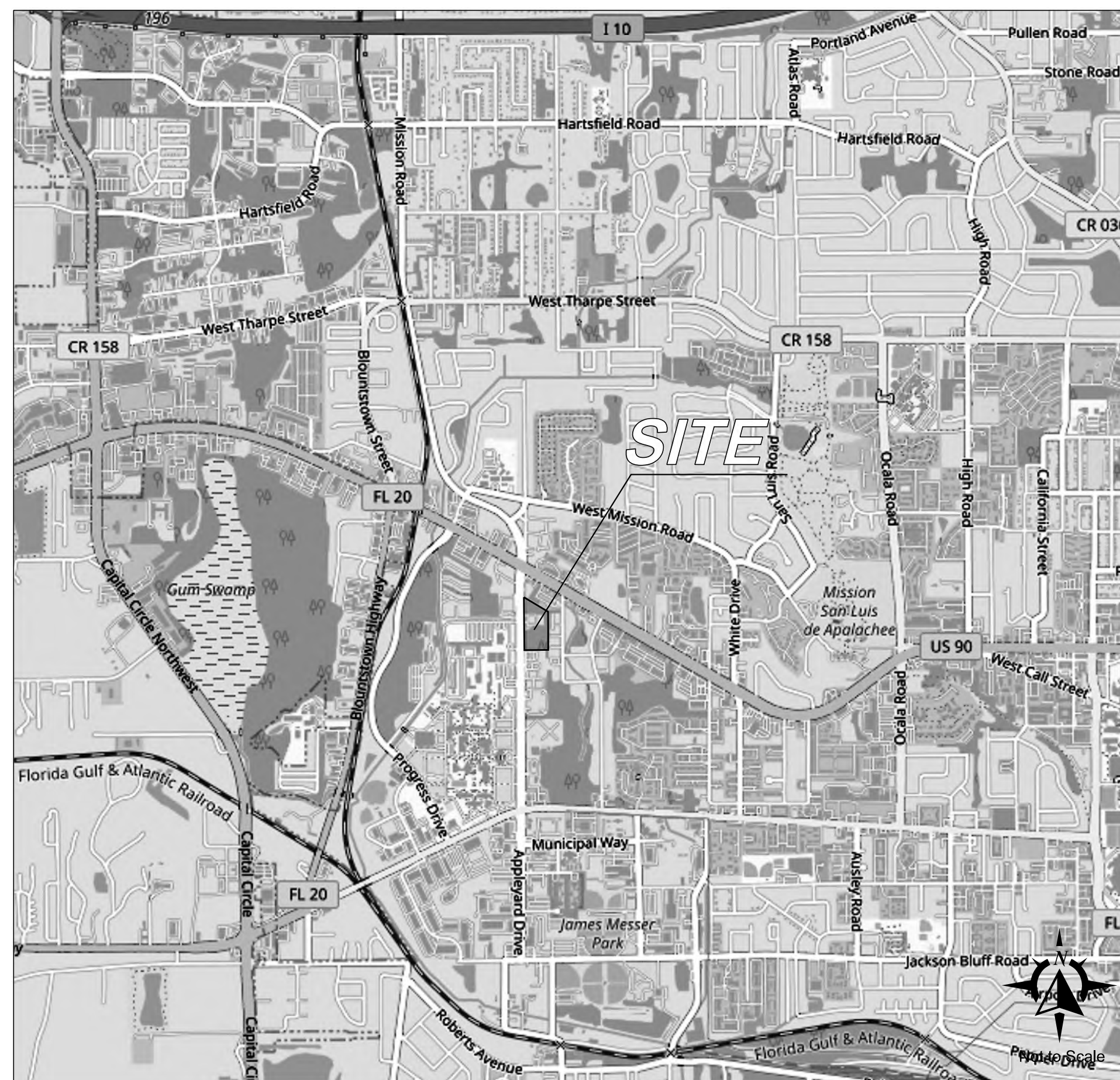
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5602 Thompson Center Court, Suite 405
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Abbreviations

PC	Point of Curvature	EX.	Existing
PT	Point of Tangency	GV	Gate Valve
PRC	Point of Reverse Curve	MJ	Mechanical Joint
PCC	Point of Compound Curve	RJ	Restrained Joint
PI	Point of Intersection	FJ	Flanged Joint
PVI	Point of Vertical Intersection	DA	Drainage Area
VC PVI	Vertical Curve Point of Vertical Intersection	LP	Low Point
RP	Radius Point	HP	High Performance Polypropylene Pipe
R	Radius	NG	Natural Grade
A	Arc Length	S.	Slope
T	Tangent Length	PVC	Polyvinyl Chloride
C	Chord Length	RCP	Reinforced Concrete Pipe
CB	Chord Bearing	ERCP	Elliptical Reinforced Concrete Pipe
STA.	Station	DIP	Ductile Iron Pipe
RT	Right	VCP	Vetrified Clay Pipe
LT	Left	HDPE	High Density Polyethylene Pipe
VC	Vertical Curve	MES	Mitered End Section
MH	Manhole	EMES	Elliptical Mitered End Section
CI	Curb Inlet	TOB	Top of Bank
CS	Control Structure	NWL	Normal Water Level
CO	Clean Out	GB	Grade Break
YD	Yard Drain	BOT	Bottom
LF	Linear Feet	INV.	Invert
RW	Right-of-Way	EL.	Elevation
ST	Structure	Ac.	Acre(s)
N.T.S.	Not to Scale	F.F.	Finished Floor Elevation
BOC	Back of Curb	N/A	Not Applicable
EOP	Edge of Pavement	AB	As Built

Legend

13+00	Stationing
	Sign
	Street Sign
	Fence
	Gate
	Silt Fence
	Contour Line
	Curb and Gutter
	Curb
	Drainage Divide
	Wetland
	Flow Arrow
	Handicapped Parking
	Tc Path
	Manhole
	Curb Inlet
	Inlet
	Mitered End Section
	Fire Hydrant
	Water Meter
	Backflow Preventer
	Valve
	Sewer Service
	Cased Pipe
	Right-of-way Line
	Lot Line
	Boundary Line
	Centerline



Location Map

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12	Semi Auto Turn
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14	Maintenance of Traffic Detail



Taylor & White, Inc.
Civil Design & Consulting Engineers

certificate of authorization number: 7298

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www.TaylorandWhite.com

Project Number: 21140

Date: October 2021

Safe Digging is
no Accident
Always Call 811
Before Digging



Sunshine State
ONE CALL
of Florida

REMOVAL OF BUILDINGS AND EXISTING STRUCTURES

- 1) THE CONTRACTOR SHALL NOTIFY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) USING FDEP FORM 62-287, 900(1) "NOTICE OF ASBESTOS RENOVATION OR DEMOLITION" AT LEAST 15 WORKING DAYS BEFORE BEGINNING ANY WORK THAT MAY DISTURB ASBESTOS. IF ASBESTOS IS NOT FOUND ON THE PROJECT, PROVIDE COPIES OF THIS NOTICE TO THE OWNER AND THE ENGINEER.
- 2) THE CONTRACTOR SHALL COMPLETELY REMOVE ALL PARTS OF THE BUILDINGS AND EXISTING STRUCTURES, INCLUDING UTILITIES, PLUMBING, FOUNDATIONS, FLOORS, BASEMENTS, STEPS, CONNECTING CONCRETE SIDEWALKS OR OTHER PAVEMENT, SEPTIC TANKS, DRAIN FIELDS AND ANY OTHER WORKING PARTS OF THE BUILDING WHICH ARE IN CONNECTION TO THE BUILDING'S UTILITY PROPERTY AND IMPROVEMENTS. REMOVE UTILITIES TO WHICH IS NOT DETRIMENTAL TO OTHERS. AUTHORITY'S CUT-IN, AFTER REMOVING THE SEWER CONNECTIONS TO THE POINT OF CUT-IN, TO BE MADE BY A COMPETENT PERSON AT AN OPEN JOINT, AS DIRECTED BY THE ENGINEER, EXCEPT WHERE THE UTILITY OWNERS MAY ELIGIBLE FOR THE USE OF SUCH PART OF THE BUILDING. ADVISE THE UTILITY COMPANIES PRIOR TO REMOVAL OF ANY PART OF THE BUILDING TO ENSURE DISCONNECTION OF SERVICE.
- 3) IF THERE IS AN EXISTING SEPTIC SYSTEM IT SHALL BE COMPLETELY REMOVED. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE PERMITS FOR SAID REMOVAL FROM THE FLORIDA DEPARTMENT OF HEALTH OR THE LOCAL AUTHORITY HAVING JURISDICTION OVER THE REMOVAL. THE GREASE TANK SHALL NOT BE REMOVED.
- 4) REMOVE THE STRUCTURES IN SUCH A WAY SO AS TO LEAVE NO OBSTRUCTIONS TO ANY PROPOSED NEW STRUCTURES OR TO ANY WATERWAYS. PULL, CUT OFF, OR BREAK OFF PILINGS TO THE DEEPENDMENT OF THE WATERS. QUOTE THE DEPTH OF THE REMOVAL TO THE DEPTHS OF THE DEEPEST REMOVAL, BUT NOT LESS THAN 2 FEET BELOW THE FINISH GROUND LINE. IN THE EVENT THAT THE PLANS INDICATE CHANNEL EXCAVATION TO BE DONE BY OTHERS, CONSIDER THE FINISH GROUND LINE TO BE LIMITED TO THE DEPTHS OF THE REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OWNER OR ARE TO BE SALVAGED FOR USE IN TEMPORARY STRUCTURES, AVOID DAMAGE TO SUCH MATERIALS, AND ENTIRELY REMOVE ALL BOLTS, NAILS, ETC. FROM TIMBERS TO BE SO SALVAGED. MARK STRUCTURAL STEEL MEMBERS FOR IDENTIFICATION AS DIRECTED.
- 5) IF STEEL MEMBERS WITH HAZARDOUS COATINGS ARE TO BE REMOVED THEN THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER FOR APPROVAL, A COPY OF THE "CONTRACTOR'S LEAD IN CONSTRUCTION PREPARATION PLAN" FOR THE REMOVAL, INCLUDING REMOVING AND DISPOSING OF THESE STEEL MEMBERS BEFORE ANY MEMBERS ARE DESTROYED. THE CONTRACTOR SHALL REMOVE ALL STEEL MEMBER TO BARE METAL AS DEFINED BY SSPC-SP11 A MINIMUM OF 4 INCHES EITHER SIDE OF ANY AREA OF CORROSION, CRACKING, SAWING, GRINDING, ETC.) IN ACCORDANCE WITH 29 CFR 1926.354, ABRADED SURFACE BLASTING IS PROHIBITED, PROVIDED THAT THE FOLLOWING REQUIREMENTS ARE OBSERVED:
29 CFR 1910.134
- 6) THE CONTRACTOR SHALL DISPOSE OF STEEL MEMBERS WITH HAZARDOUS COATING IN THE FOLLOWING MANNER - DELIVER THE STEEL MEMBERS AND OTHER NON-HAZARDOUS MATERIALS TO A RECYCLING OR REUSE FACILITY CAPABLE OF PROCESSING STEEL MEMBERS WITH HAZARDOUS COATING.

SITE DEMOLITION AND CLEARING

- 1) CLEAR AND GRUB THE SITE AREAS SHOWN IN THE PLANS TO BE CLEARED AND GRUBBED. REMOVE AND DISPOSE OF ALL TREES, STUMPS, ROOTS AND OTHER SUCH PROTRUDING OBJECTS, BUILDINGS, STRUCTURES, AND UTILITIES, AND ALL SOFT, CRUMBLY, AND RIGID ASPHALT PAVEMENT, AND OTHER SURFACES, AND ALL OTHER OBSTRUCTIONS TO THE CONSTRUCTION OF THE PROJECT. PROVIDE ALL UTILITIES FACILITIES NECESSARY TO PREPARE THE AREA FOR THE CONSTRUCTION OF THE PROJECT.
- 2) IN ALL BUILDING FOOTPRINT AND HARDSCAPE AREAS THE CONTRACTOR SHALL REMOVE ROOTS, OTHER DEBRIS, AND ORGANIC SOILS TO A DEPTH OF 12 INCHES BELOW THE GROUND SURFACE OR DEEPER BY THE METHOD OF SHEDDING OR SHEDDING AND SHEDDING. REMOVE ALL WEEDS, VEGETATION, ROOTS, STUMPS, DEBRIS, ORGANIC TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- 3) AS AN EXCEPTION TO THE ABOVE PROVISIONS, AND WHERE SO DIRECTED BY THE ENGINEER AND AS THE ENGINEER DEEMS APPROPRIATE, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE PROJECT PERIMETER.
- 4) PLUG ANY WATER WELLS THAT ARE ENCOUNTERED WITHIN THE PROPERTY BOUNDARY IN ACCORDANCE WITH APPLICABLE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT RULES AND/OR ORDINANCES.
- 5) REMOVE OF TIMBER, STUMPS, BRUSH, ROOTS, RUBBISH, AND OTHER OBJECTIONABLE MATERIAL RESULTING FROM CLEARING, GRUBBING AND DEMOLITION BY METHODS MEETING THE APPLICABLE DISTRICTS AND LOCAL, STATE AND FEDERAL REGULATIONS.
- 6) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS NOT REQUIRED TO BE SALVAGED OR NOT REQUIRED TO COMPLETE THE CONSTRUCTION.

A SEPARATE BUILDING PERMIT IS REQUIRED
PRIOR TO STRUCTURE DEMOLITION

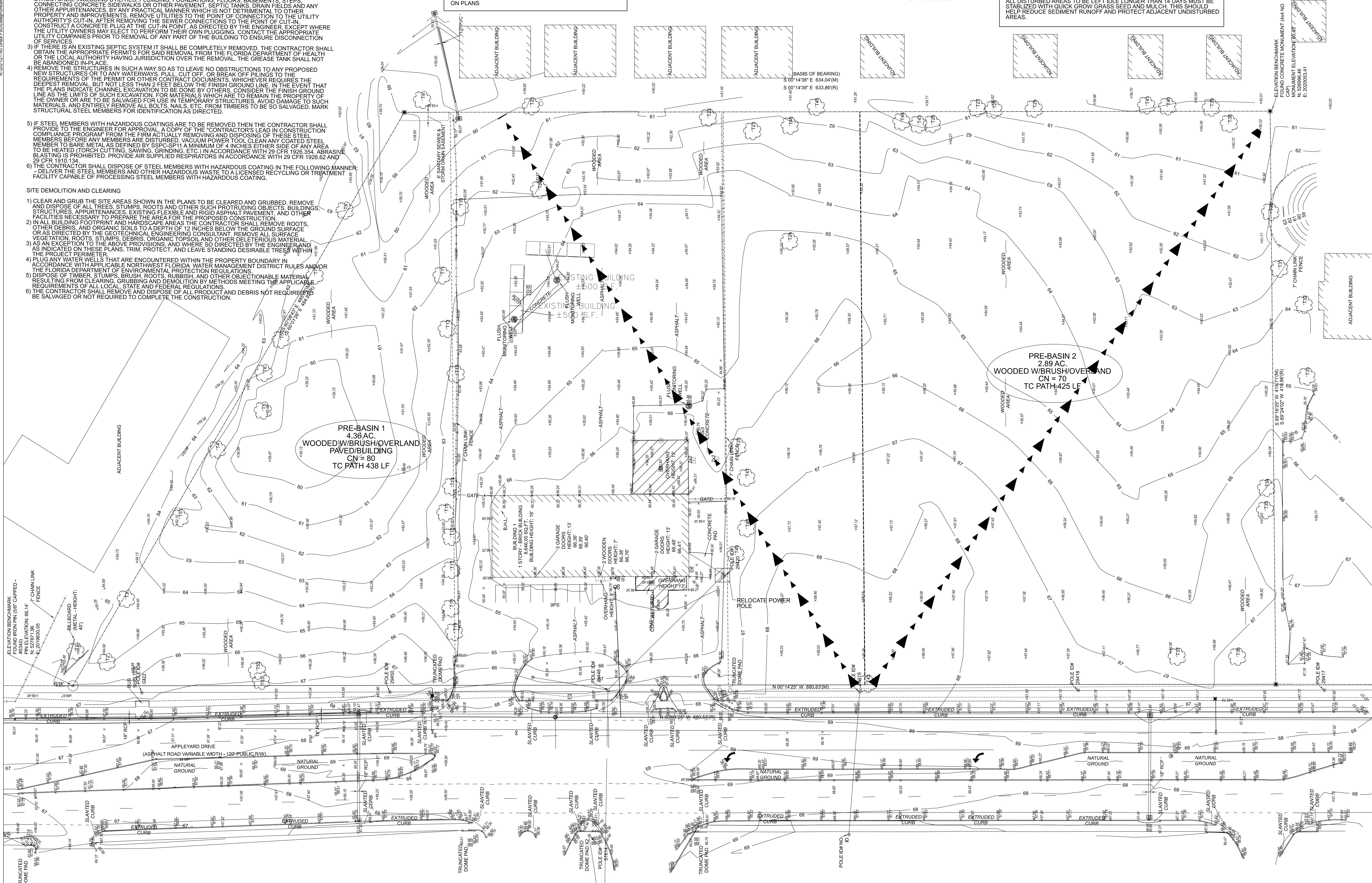
NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS OR AN ARBORICULTURAL MITIGATION PLAN HAVE BEEN NOTED ON PLANS

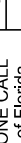
THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING THE CONSTRUCTION ACTIVITIES (PER FLDC SECTION 5-56(C)(1)A.5). IN ADDITION, LIST THE NAME AND PHONE NUMBER OF THE INSPECTOR (OR THAT ONE MUST BE DESIGNATED AND BE AVAILABLE AT THE PRE-CONSTRUCTION MEETING

EXISTING PAVEMENT/CONCRETE/ BUILDING
TO BE REMOVED

ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF DEVELOPMENT, AT THE DISCRETION OF THE CITY OF TALLAHASSEE'S ENVIRONMENTAL INSPECTOR.

ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH. THIS SHOULD HELP REDUCE SEDIMENT RUNOFF AND PROTECT ADJACENT UNDISTURBED AREAS



No.	Date	R	E	V	I	S	I	O	N	S	Description
											
Sustainable State of Florida											
Signature _____ Date: _____ by _____											

UHAUL
Appleyard Drive
Tallahassee, Florida

Pre-Development
 Drainage Map

DO NOT SCALE THIS DRAWING - DIMENSIONS AND NOTES TAKE PRECEDENCE

Taylor & White, Inc.
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Scale:	1"=30'
Proj. Mgr:	B. Rohrer
Designer:	B. Rohrer
Drawn by:	B. Rohrer
Certificate of Auth:	7298



Project No.:	21140
Date:	July 2, 2024
Sheet No.:	2



Please incorporate and prominently display the following contractor notice on all site plans and environmental plans. This notice is provided to the Contractor as part of the approved site plans to advise them of their required responsibility of compliance with Florida Accessibility Code (aka Handicap Code).

CONTRACTOR NOTICE 2023 (effective December 31, 2023)

The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2023 Florida Building Code, Accessibility, 8th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A & FBC-B. The following items take precedence and supersede other site details on drawings:

1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3 & §502.3, FBC-A and F.S. 553.5041.
2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §508.3.1 FBC-A & F.S. 553.5041(5)(b).
3. ACCESSIBLE PARKING spaces shall be 12 ft. wide & outlined with blue paint. §502.2 & §502.6 FBC-A.
4. ACCESS AISLES required adjacent to parking spaces shall be 5 ft. wide with diagonal striping. §502.3.1, FBC-A.
5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1/48) on a stable, firm & slip resistant surface. Re: §302.1 & §502.4, FBC-A.
6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60 inches from the ground to the bottom of the signs). Re: §502.6 FBC-A and F.S. 553.5041.
7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406, FBC-A.
8. CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: For alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A.
9. ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FAC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7, FBC-A.
10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Maximum rise of a ramp run is 30 inches on an accessible route. Re: §1012.8 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope unless ramps with proper handrails & handrail extensions are provided AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.

* EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A

Z:\Building Inspection\01-Plan Review Team\Accessibility, Fair Hsg. & Contractor Notice January 2023 8th Edition FACBC

PROJECT SUMMARY

TOTAL SITE AREA: 7.29 AC.

ZONING: CP (COMMERCIAL PARKWAY)

WETLANDS: 0 AC.

COMMERCIAL BUILDING TOTAL SQ FT 124,078 SQ FT.

PARKING: 1 SPACE PER 1,000 OF GROSS FLOOR AREA FOR THE FIRST 20,000 SQ FT DEVOTED TO WAREHOUSING PLUS THE REQUIRED FOOTAGE DEVOTED TO OTHER USES. 150 PER 2,000 SQ FT FOR THE SECOND 20,000 SQ FT. 150 PER 4,000 SQ FT FOR THE FLOOR AREA IN EXCESS OF 40,000 SQ FT. = 52 SPACES REQUIRED

PN NO. 21-28-51-000-000.1, 000.2, 000.3, 000.4

FLOOD ZONE: FLOOD ZONE "X"

SIGNAGE WILL COMPLY WITH THE REQUIREMENTS OF THE CITY OF TALLAHASSEE

DEVELOPMENT SUMMARY:

TOTAL SITE AREA	7.29 AC. (317,552 SQ FT)	
BUILDING SQ FT (FOOTPRINT)	1.35 AC. (59,222 SQ FT)	18%
SITE IMPERVIOUS AREA	4.17 AC. (181,882 SQ FT)	57%
PERVIOUS AREA (INCLUDING DRY POND)	2.83 AC. (123,274 SQ FT)	39%
OPEN SPACE DENSITY	0.30 AC. 2.31 AC.	5%

REQUIRED SETBACKS - 6' (MIN), 20' RIGHT OF WAY APPEYARD DRIVE, 5' (MIN) SIDE AND 10' (MIN) REAR

NOISE SOURCE RESTRICTIONS: IN THE EVENT THAT A PROPERTY ZONED CP ADJUTS A RESIDENTIAL PROPERTY, THE NOISE SOURCE OF A CP ZONED PROPERTY SHALL NOT EXCEED AN L10 NOISE LEVEL OF 60 DBA IN THE DAYTIME (7:00AM TO 10:00 PM) AND AN L10 NOISE LEVEL OF 50 DBA IN THE NIGHT TIME (10:00PM TO 7:00AM) AS MEASURED ON THE PROPERTY LINE ADJUTING THE SOURCE.

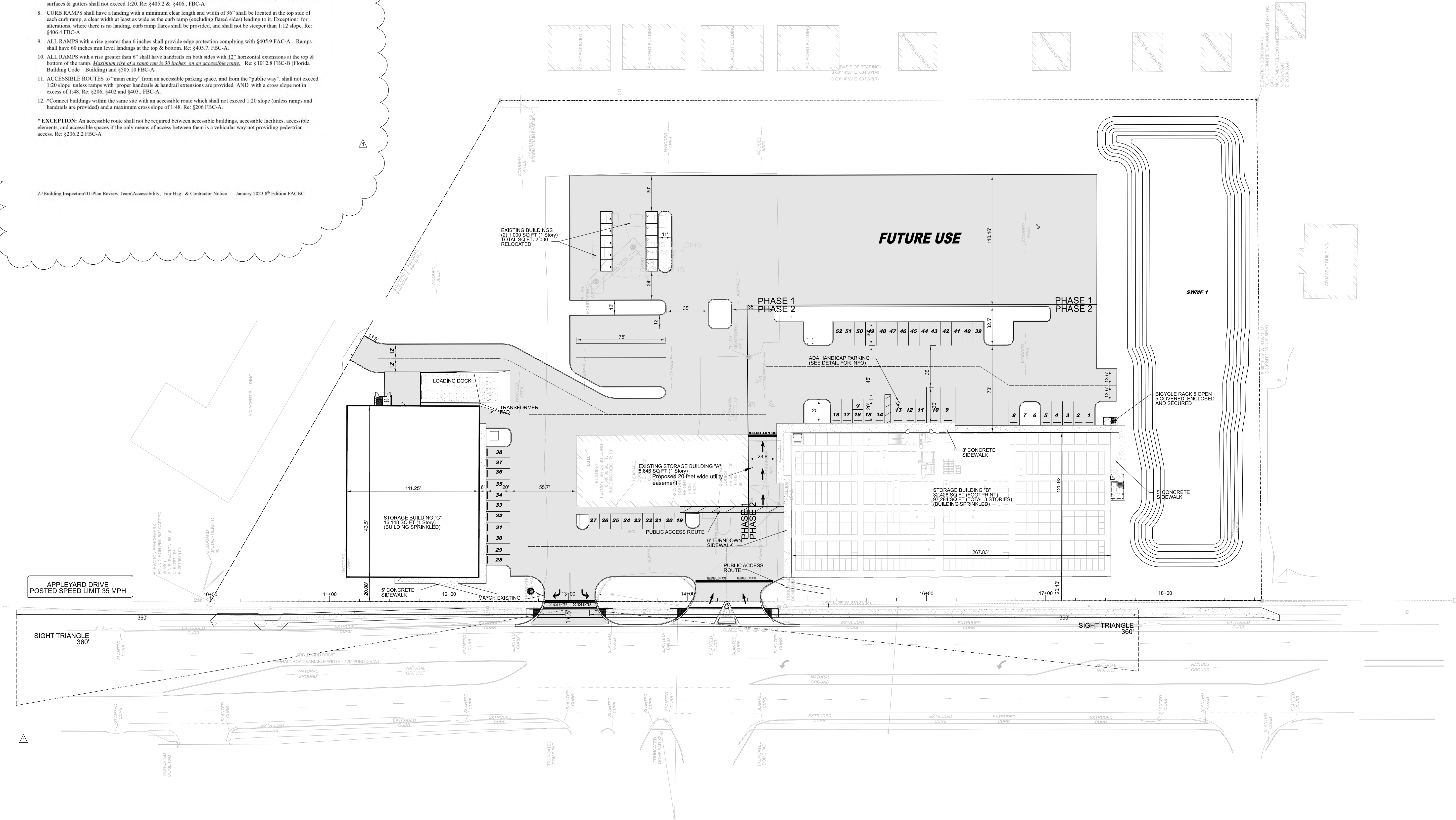
LIGHTING STANDARDS: IN THE EVENT A PROPERTY ZONED CP ADJUTS A RESIDENTIAL PROPERTY, THE NIGHT TIME LIGHTING OF THE CP ZONED PROPERTY SHALL MEET THE FOLLOWING STANDARDS: NIGHT TIME LIGHTING SHALL NOT EXCEED 0.5 VERTICAL SURFACE FOOT CANDLE MEASURED AT THE PROPERTY LINE SIX FEET ABOVE GRADE. LIGHTING STANDARDS SHALL NOT EXCEED 20 FEET IN HEIGHT AND SHALL BE RECESSED BULBS AND FILTERS WHICH CONCEAL THE SOURCE OF ILLUMINATION. NO WALL OR ROOF MOUNTED FLOOD LIGHTS OR SPOT LIGHTS USED AS GENERAL GROUNDS LIGHTING ARE PERMITTED. SECURITY LIGHTING IS PERMITTED.

ALL BUILDING ELEVATIONS ADJACENT TO PUBLIC RIGHT OF WAY OR PEDESTRIAN WAYS SHALL PROVIDE TRANSPARENCY AT EYE LEVEL BETWEEN 3 AND 8 FEET ABOVE FINISHED GRADE. IN ACCORDANCE WITH THE FOLLOWING MINIMUM PERCENTAGES: NON-RESIDENTIAL - 60%, IN ALL STRUCTURES A MINIMUM OF 15% TRANSPARENCY SHALL BE PROVIDED ABOVE THE FIRST STORY OF FACADES ADJACENT TO THE PUBLIC RIGHT OF WAY. REFLECTIVE GLASS IS PROHIBITED.

LEGEND
■ TYPICAL ASPHALT PAVEMENT AREA
□ TYPICAL CONCRETE AREA

GENERAL NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT MARKINGS PER FOOT STANDARDS AND SPECIFICATIONS.
4. SIGNAGE FOR THE SITE WILL APPLIED FOR UNDER A SEPARATE PERMIT.



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6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY ACCESSIBLE PERMIT ONLY" and shall include a \$250 fine for illegal use. Initial signs *a minimum 60 inches* from the ground to the bottom of the sign(s). Ref: §502.6 FBC-A and F.S. 553.504.
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11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope unless ramps with proper handrails & handrail extensions are provided AND with a cross slope not in excess of 1:48. Ref: §306, §402 & §505 FBC-A
12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Ref: §206 FBC-A

* **EXCEPTION:** An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A

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52 SPACES PROVIDED.

PIN NO. 21-28-51-00C-000.1, 000.2, 000.3, 000.4

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DENSITY	2.31 AC.		

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5' (MIN) SIDE AND 10' (MIN) REAR

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ABOUTS A RESIDENTIAL PROPERTY, THE NOISE SOURCE OF A CP ZONED PROPERTY
SHALL NOT EXCEED AN L10 NOISE LEVEL OF 60 DBA IN THE DAYTIME (7:00AM TO
10:00 PM) AND AN L10 NOISE LEVEL OF 50 DBA IN THE NIGHT TIME (10:00PM TO 7:00AM)
AS MEASURED ON THE PROPERTY LINE ABUTTING THE SOURCE.

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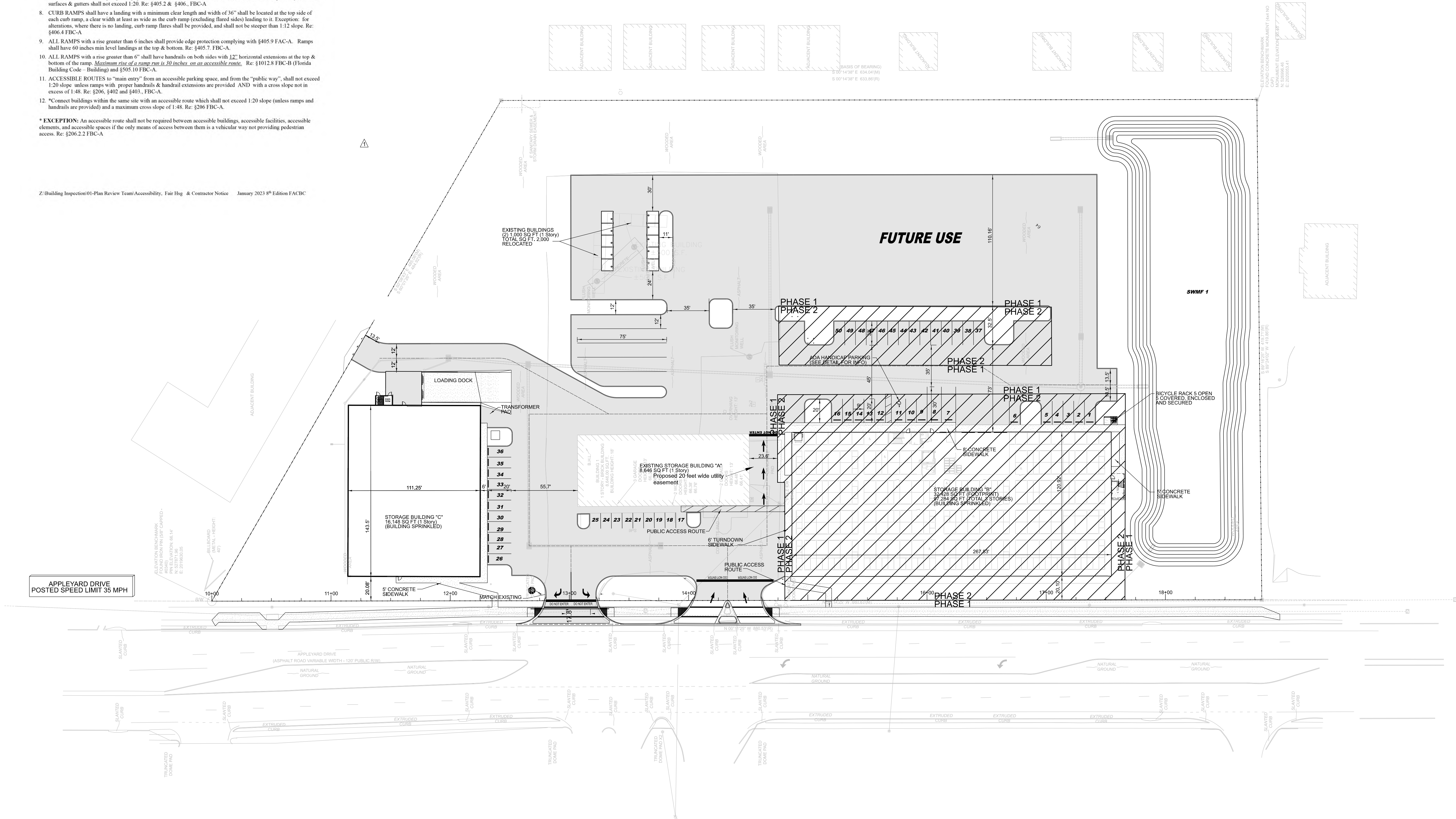
ALL BUILDING ELEVATIONS ADJACENT TO PUBLIC RIGHT OF WAY OR PEDESTRIAN WAYS SHALL PROVIDE TRANSPARENCY AT EYE LEVEL BETWEEN 3 AND 8 FEET ABOVE FINISHED GRADE IN ACCORDANCE WITH THE FOLLOWING MINIMUM PERCENTAGES: NON-RESIDENTIAL-60%, IN ALL STRUCTURES A MINIMUM OF 15% TRANSPARENCY SHALL BE PROVIDED ABOVE THE FIRST STORY OF FACADES ADJACENT TO THE PUBLIC RIGHT OF WAY. REFLECTIVE GLASS IS PROHIBITED.

LEGEND

 = TYPICAL ASPHALT PAVEMENT AREA

GENERAL NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT MARKINGS PER FDOT STANDARDS AND SPECIFICATIONS.
4. SIGNAGE FOR THE SITE WILL APPLIED FOR UNDER A SEPARATE PERMIT.



EROSION NOTES:

1. THIS EROSION AND SEDIMENT CONTROL PLAN SHOWS THE MINIMUM CONTROLS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR, AND MAY NEED TO INSTALL, ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES TO MEET LOCAL, STATE AND FEDERAL REQUIREMENTS.

2. CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE ENGINEER'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIALS AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ADD FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.

3. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.

4. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE.

5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS.

6. WITHIN 48 HOURS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND SUBMITTING THE APPLICATION FORM ENTITLED "NPDES STORMWATER NOTICE OF INTENT TO USE MULTI-SECTOR GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)B). THE CONTRACTOR IS ALSO RESPONSIBLE FOR PREPARING AND CONTINUALLY MAINTAINING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).

7. PRIOR TO THE END OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND SUBMITTING THE APPLICATION FOR ENTITLED "NPDES STORMWATER NOTICE OF TERMINATION (FDEP FORM 62-621.300(6)).

ALL COMPLETED FORMS MUST BE SUBMITTED TO:

NPDES STORMWATER NOTICES CENTER, MS #2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-2400

8. SEE EROSION AND SEDIMENT CONTROL DETAILS & STORM WATER POLLUTION PREVENTION PLAN SHEET FOR ADDITIONAL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

9. THE STORMWATER FACILITY WILL BE USED FOR SEDIMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT THE POND BOTTOM WILL BE LEFT WITH ONE FOOT OF EXISTING SAND AND THIS WILL BE REMOVED AFTER CONSTRUCTION IS COMPLETED TO ALLOW FOR PERCOLATION FOR POND BOTTOM.

A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH CITY STAFF INCLUDING ENVIRONMENTAL INSPECTOR AND SHOULD OCCUR PRIOR TO COMMENCEMENT. ALSO THE SEQUENCE OF CONSTRUCTION SHOULD CLARIFY THAT ALL PERMIT PLACARDS MUST BE POSTED ON SITE, AND TREE PROTECTION MUST BE IN PLACE PRIOR TO ANY EARTHWORK AND SEDIMENT CONTROL MEASURES. THE SITEWORK WILL BE LIMITED TO THE SEDIMENT SUMP AND DIVERSION BERM CONSTRUCTION AT THE START BEFORE OTHER EARTHWORK CAN OCCUR.

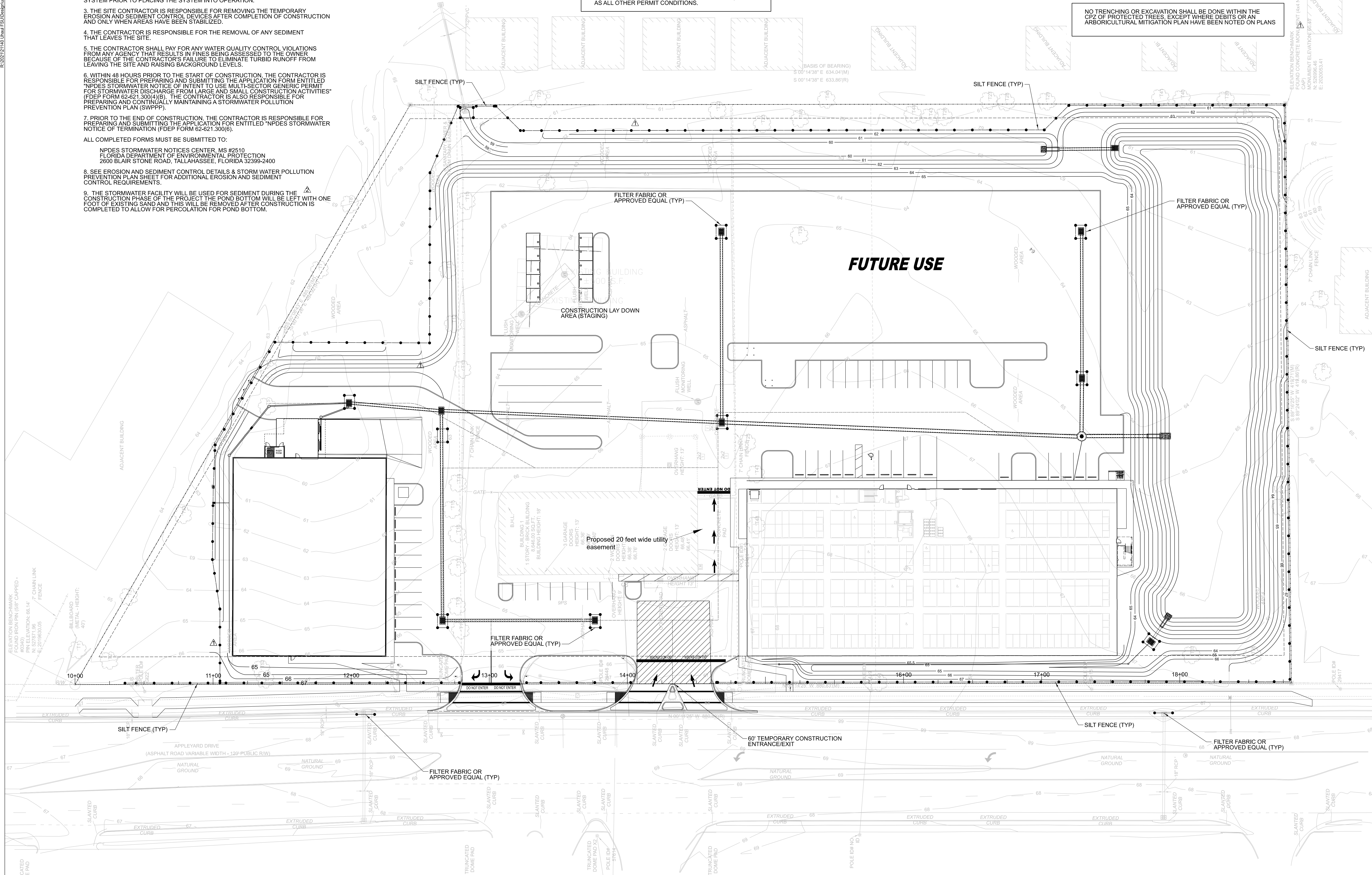
THE CITY OF TALLAHASSEE IS NOT RESPONSIBLE FOR THE MAINTENANCE, KEEP OR IMPROVEMENT OF ANY STORMWATER MANAGEMENT FACILITY OWNED BY THE LAND DESCRIBED HEREIN. TITLE TO THIS PROPERTY CARRIES WITH IT THE REQUIREMENT THAT THE CURRENT AND ALL SUBSEQUENT OWNERS OR THEIR AUTHORIZED AGENTS OBTAIN A FLOODWATER MANAGEMENT PLAN FOR THE PROPERTY. THE CITY OF TALLAHASSEE WILL NOT BE RESPONSIBLE FOR THE OPERATION, MAINTENANCE OR REPAIR OF THIS PROPERTY SHALL BE LEGALLY RESPONSIBLE, JOINTLY WITH OTHERS OWNERS USING THE FACILITY AND BASED ON A PRO RATA SHARE, FOR COMPLIANCE WITH ALL STORMWATER MANAGEMENT AND OPERATION PERMIT REQUIREMENTS. THE CITY OF TALLAHASSEE WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR REPAIR OF THIS PROPERTY, AS WELL AS ALL OTHER PERMIT CONDITIONS.

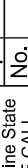
THE CONTRACTOR SHALL ENSURE THAT A FORCEMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER, EROSION AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY PHONE AT ALL TIMES DURING THE CONSTRUCTION ACTIVITIES PER TDC SECTION 5-56(c)(1)a 5. IN ADDITION, LIST THE NAME AND PHONE NUMBER OF THE INSPECTOR (OR THAT ONE MUST BE DESIGNATED AND BE AVAILABLE AT THE PRE-CONSTRUCTION MEETING).

ALL DISTURBED AREAS TO BE LEFT IDLE LONGER THAN 14 DAYS MUST BE STABILIZED WITH QUICK GROW GRASS SEED AND MULCH. THIS SHOULD HELP REDUCE SEDIMENT RUNOFF AND PROTECT ADJACENT UNDISTURBED AREAS.

ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED, DURING ANY PHASE OF THE DEVELOPMENT, AT THE DISCRETION OF THE CITY OF TALLAHASSEE'S ENVIRONMENTAL INSPECTOR.

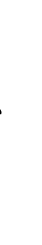
NO TRENCHING OR EXCAVATION SHALL BE DONE WITHIN THE CPZ OF PROTECTED TREES, EXCEPT WHERE DEBITS OR AN ARBORICULTURAL MITIGATION PLAN HAVE BEEN NOTED ON PLANS



San Diego is not responsible for accidents or injuries caused by wrong driving						D. Gilm Taylor, PE, State of Florida Professional Engineer, License No. 44163 This document has been digitally signed and sealed by D. Gilm Taylor on the date indicated here. Printed on the back of each page are two copied signed and sealed on resistant paper will be verified the signature must be written on by electronic copiers.	Signature _____ March 2, 2026
No.	Date	Description	R E V I S I O N S				
1	2-22-2023	PER TEM230003 COMMENTS	BR				
2	2-22-2023	PER TEM230003 COMMENTS	BR				

Erosion and Sediment Control Plan Phase 2

UHAUL
Appleyard Drive
Tallahassee, Florida

	
Taylor & White, Inc. Civil Design & Consulting Engineers 9555 Westgate Road, Suite 102 Jacksonville, Florida 32257 t: (904) 346-4871 f: (904) 346-3051 www.TaylorandWhite.com	
	
Scale:	1"=30'
Proj. Mgr:	B. Rohrer
Designer:	B. Rohrer
Drawn by:	B. Rohrer
Certificate of Auth:	7298
	
	
Project No.:	21140
Date:	July 2, 2024
Sheet No.:	5A

RS2021/2140 Uhaul FSD(Design)01.s | Printed: 3/2/2026 2:00:06 PM

Site Data Summary	Existing Area/%	Proposed Area/%	
Site Area	317,552 sf	317,552 sf	100%
No of Buildings	1	5	-
Building Area (Footprint)	10,646 sf 3%	59,222 sf	19%
Pond Area	0 sf	37,026 sf	11%
Pavement Area	56,867 sf 18%	113,108 sf	36%
Green Area	24,350 sf 8%	108,196 sf	34%
Open Space	225,689 sf 71%	42,688 sf	14%
Parcel No.		21-28-51-00C-000.1,2,3,4	
FEMA Panel No		12073-0279F	
Flood Zone		X	
Building Setbacks		(N&S) 6' W 20' E 10'	
Building Height	18'	Bldg B 42' Bldg. C 38.5'	
Building FAR	3%	20%	
Density/Intensity		60%	

PROJECT SUMMARY

TOTAL SITE AREA: 7.29 AC.

ZONING: CP (COMMERCIAL PARKWAY)

WETLANDS: 0 AC.

COMMERCIAL BUILDING TOTAL SQ FT 124,078 SQ FT.

OPEN SPACE WAS REDUCED DUE TO THE ORIGINAL AMOUNT OF 30% SINCE WE ARE GRADING IN THE AREA ONCE GRADING IS COMPLETE THE AREA WILL BE 30% PER CODE OPEN AREA IS DEEMED AS NOT DISTURBED

PARKING: 1 SPACE PER 1,000 OF GROSS FLOOR AREA FOR THE FIRST 20,000 SQ FT DEVOTED TO WAREHOUSING PLUS THE REQUIRED FOOTAGE DEVOTED TO OTHER USES. 1SQ PER 2,000 SQ FT FOR THE SECOND 20,000 SQ FT. 1SP PER 4,000 SQ FT FOR THE FLOOR AREA IN EXCESS OF 40,000 SQ FT. = 52 SPACES REQUIRED 52 SPACES PROVIDED.

△ SITE AREA IS AS FOLLOWS:
△ BLDG 19%, POND 11%, PAVEMENT 36%, GREEN 34% = 100%
△ POND IS NOT INCLUDED IN THE GREEN OR OPEN SPACE

REQUIRED SETBACKS - 6' (MIN), 20' RIGHT OF WAY APPLEYARD DRIVE,
5' (MIN) SIDE AND 10' (MIN) REAR

NOISE SOURCE RESTRICTIONS: IN THE EVENT THAT A PROPERTY ZONED CP ABOUTS A RESIDENTIAL PROPERTY, THE NOISE SOURCE OF A CP ZONED PROPERTY SHALL NOT EXCEED AN L10 NOISE LEVEL OF 50 DBA IN THE DAYTIME (7:00AM TO 10:00 PM) AND AN L10 NOISE LEVEL OF 50 DBA IN THE NIGHT TIME (10:00PM TO 7:00AM) AS MEASURED ON THE PROPERTY LINE ABUTTING THE SOURCE.

LIGHTING STANDARDS: IN THE EVENT A PROPERTY ZONED CP ABUTS A RESIDENTIAL PROPERTY, THE NIGHT TIME LIGHTING OF THE CP ZONED PROPERTY SHALL MEET THE FOLLOWING STANDARDS: NIGHT TIME LIGHTING SHALL NOT EXCEED 0.5 VERTICAL SURFACE FOOT CANDLE MEASURED AT THE PROPERTY LINE SIX FEET ABOVE GRADE. LIGHTING STANDARDS SHALL NOT EXCEED 20 FEET IN HEIGHT AND SHALL BE RECESSED BULBS AND FILTERS WHICH CONCEAL THE SOURCE OF ILLUMINATION. NO WALL OR ROOF MOUNTED FLOOD LIGHTS OR SPOT LIGHTS USED AS GENERAL GROUNDS LIGHTING ARE PERMITTED. SECURITY LIGHTING IS PERMITTED.

Transparency: All building elevations adjacent to public right of way or pedestrian ways shall provide transparency at eye level between 3 and 8 feet above finished grades in accordance with the following minimum percentages. Non-residential 60% side elevations 30%. In all structures a minimum of 15% transparency shall be provided above the first story of facades adjacent to the public right of way. Reflective glass is prohibited.

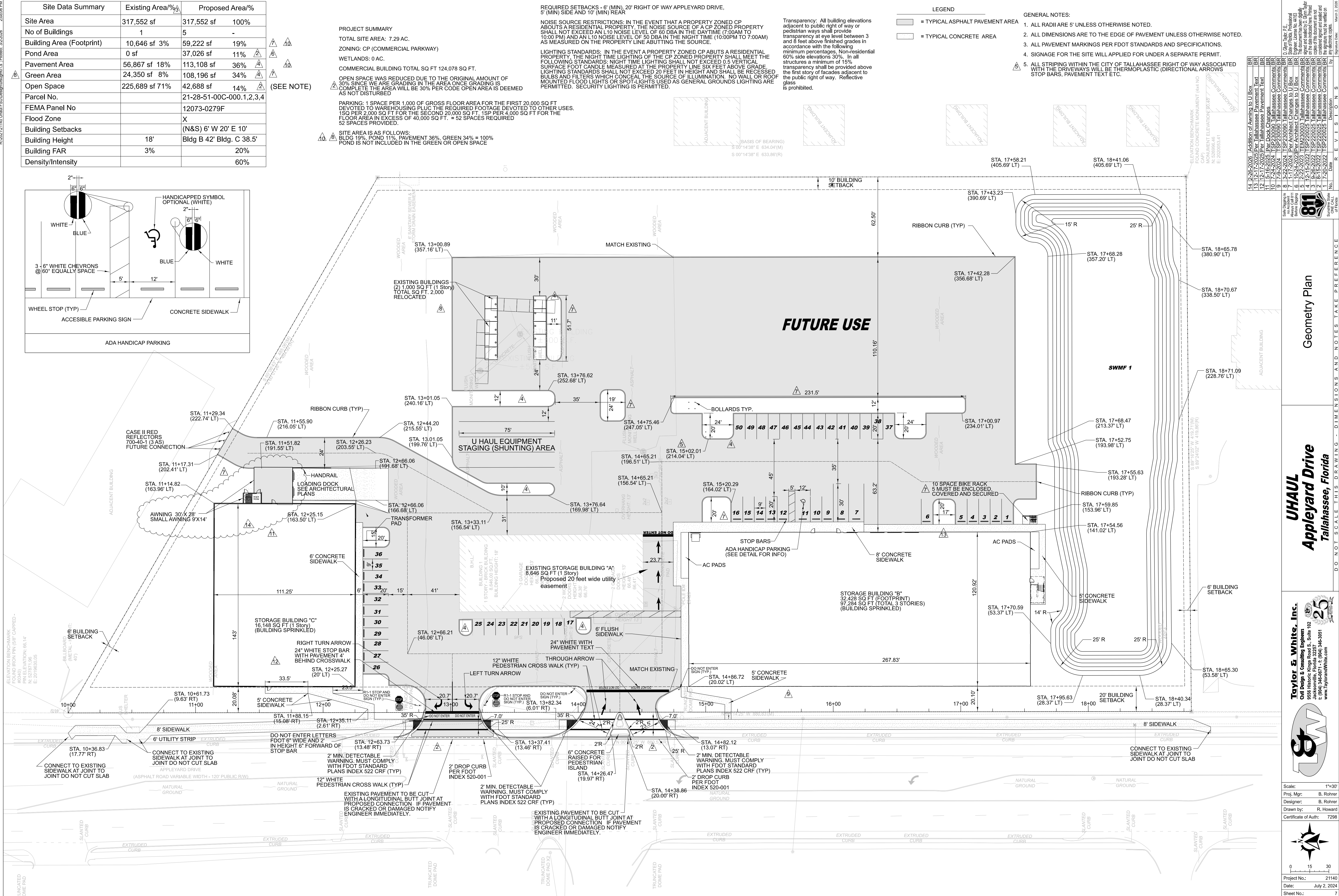
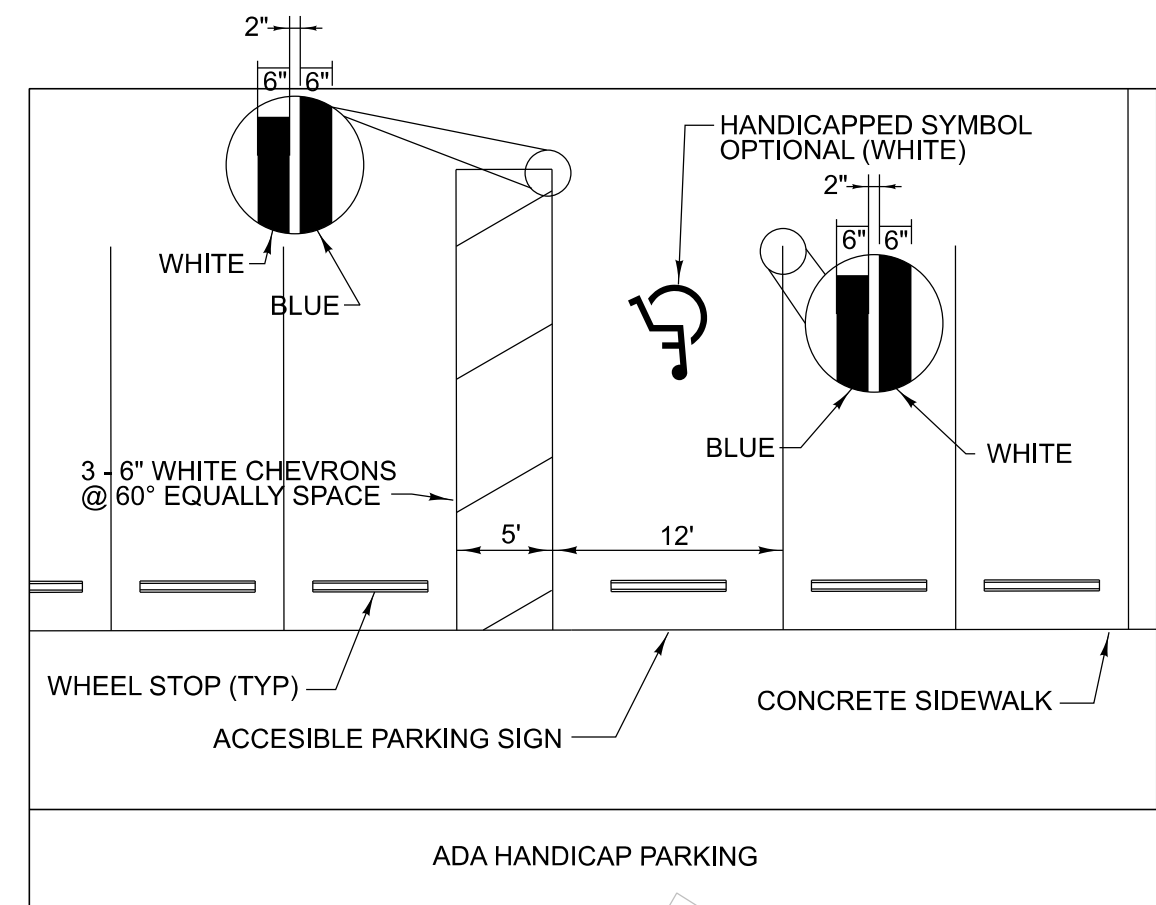
LEGEND

- = TYPICAL ASPHALT PAVEMENT AREA
- = TYPICAL CONCRETE AREA

GENERAL NOTES:

- ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS PER FDOT STANDARDS AND SPECIFICATIONS.
- SIGNAGE FOR THE SITE WILL APPLIED FOR UNDER A SEPARATE PERMIT.

△ ALL STRIPING WITHIN THE CITY OF TALLAHASSEE RIGHT OF WAY ASSOCIATED WITH THE DRIVEWAYS WILL BE THERMOPLASTIC (DIRECTIONAL ARROWS STOP BARS, PAVEMENT TEXT ETC.



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12	12-17-2025	Per Tallahassee Pavement Text	BR		
11	5-16-2025	Per Dock, Check Pavement Text	BR		
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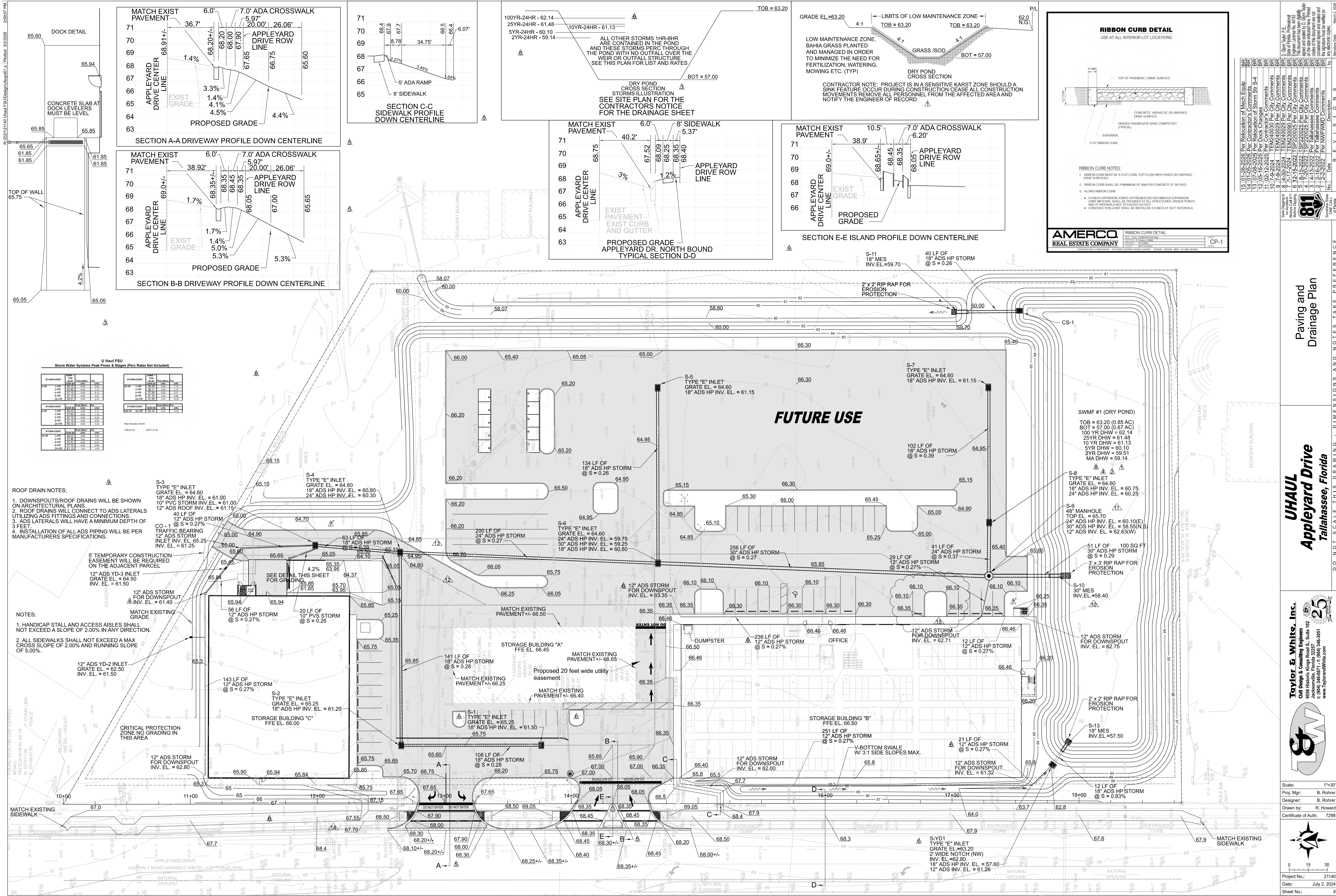
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No.	Description	Date	By	Check
15	01-26-2026	Per Relocation of Mech Equip	BR	
14	01-05-2026	Per Relocation of Storm Str S-4	BR	
13	01-05-2026	Per Relocation of Storm Str S-4	BR	
12	01-05-2026	Per Relocation of Storm Str S-4	BR	
11	02-12-2025	Per Contractor's Comments	BR	
10	07-20-2024	Per City Comments	BR	
9	07-20-2024	Per City Comments	BR	
8	07-20-2024	Per City Comments	BR	
7	07-20-2024	Per City Comments	BR	
6	12-15-2022	TSP/202025 Per City Comments	BR	
5	08-15-2022	TSP/202025 Per City Comments	BR	
4	07-20-2022	TSP/202025 Per City Comments	BR	
3	07-20-2022	TSP/202025 Per City Comments	BR	
2	07-20-2022	TSP/202025 Per City Comments	BR	
1	07-20-2022	TSP/202025 Per City Comments	BR	



CP-1

Uhaul FSU

Uhaul FSU

Uhaul FSU

Uhaul FSU

Uhaul FSU

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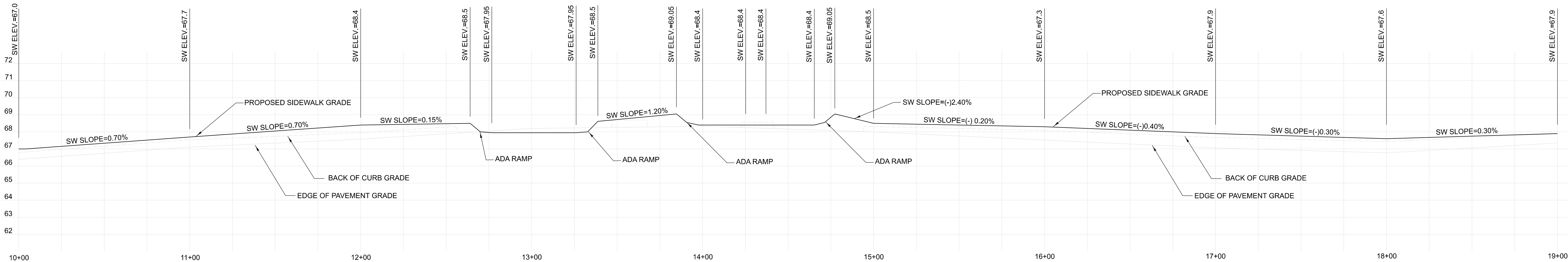
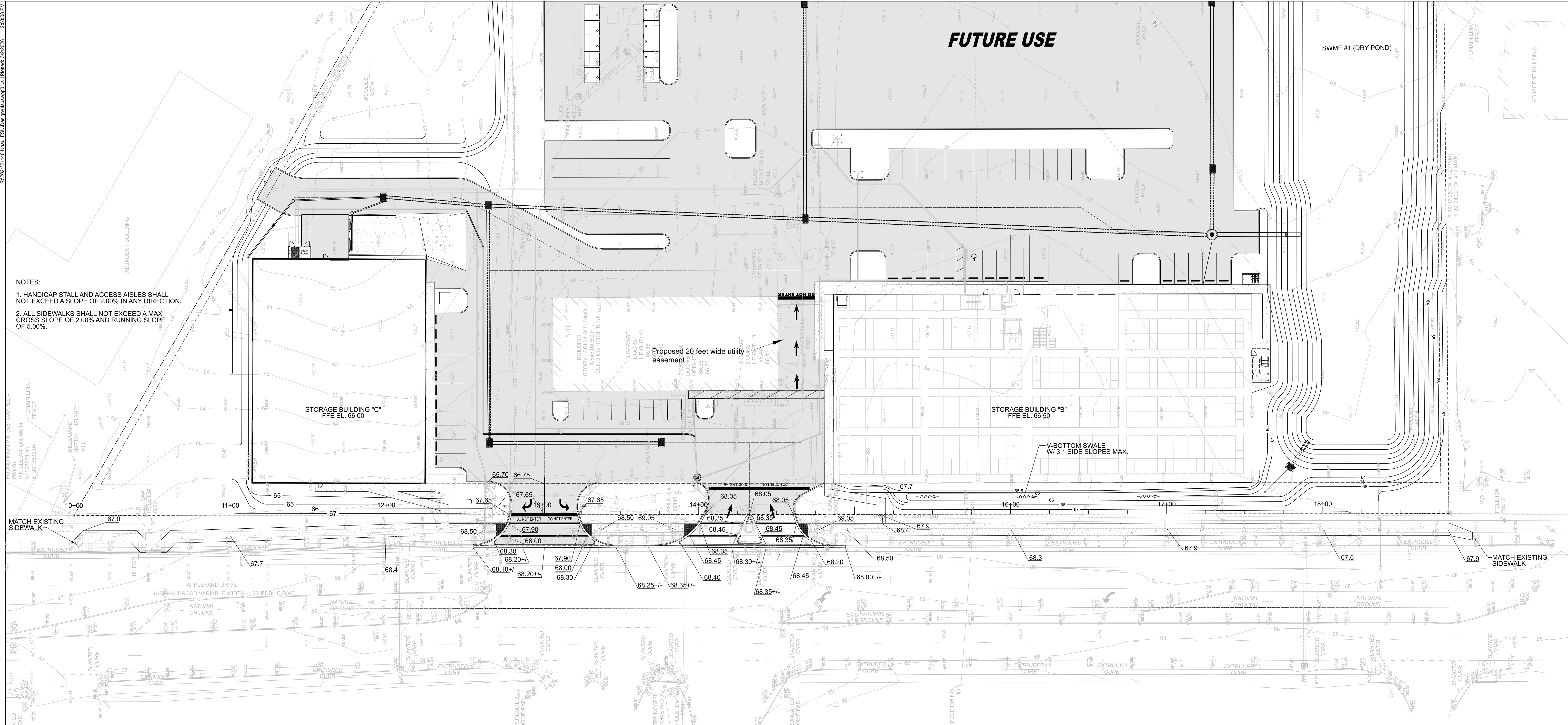
Uhaul FSU

Uhaul FSU

Uhaul FSU

Uhaul FSU

Uhaul FSU



NOTES:

1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 2.00% IN ANY DIRECTION
2. ALL SIDEWALKS SHALL NOT EXCEED A MAX CROSS SLOPE OF 2.00% AND RUNNING SLOPE OF 5.00%.

FUTURE USE

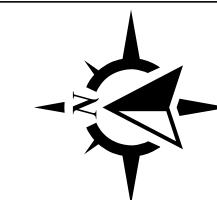
SWMF #1 (DRY POND)

Appleyard Drive Edge of Pavement, Back of Curb and Sidewalk Plan and Profile

UHAUL
Appleyard Drive
Tallahassee, Florida

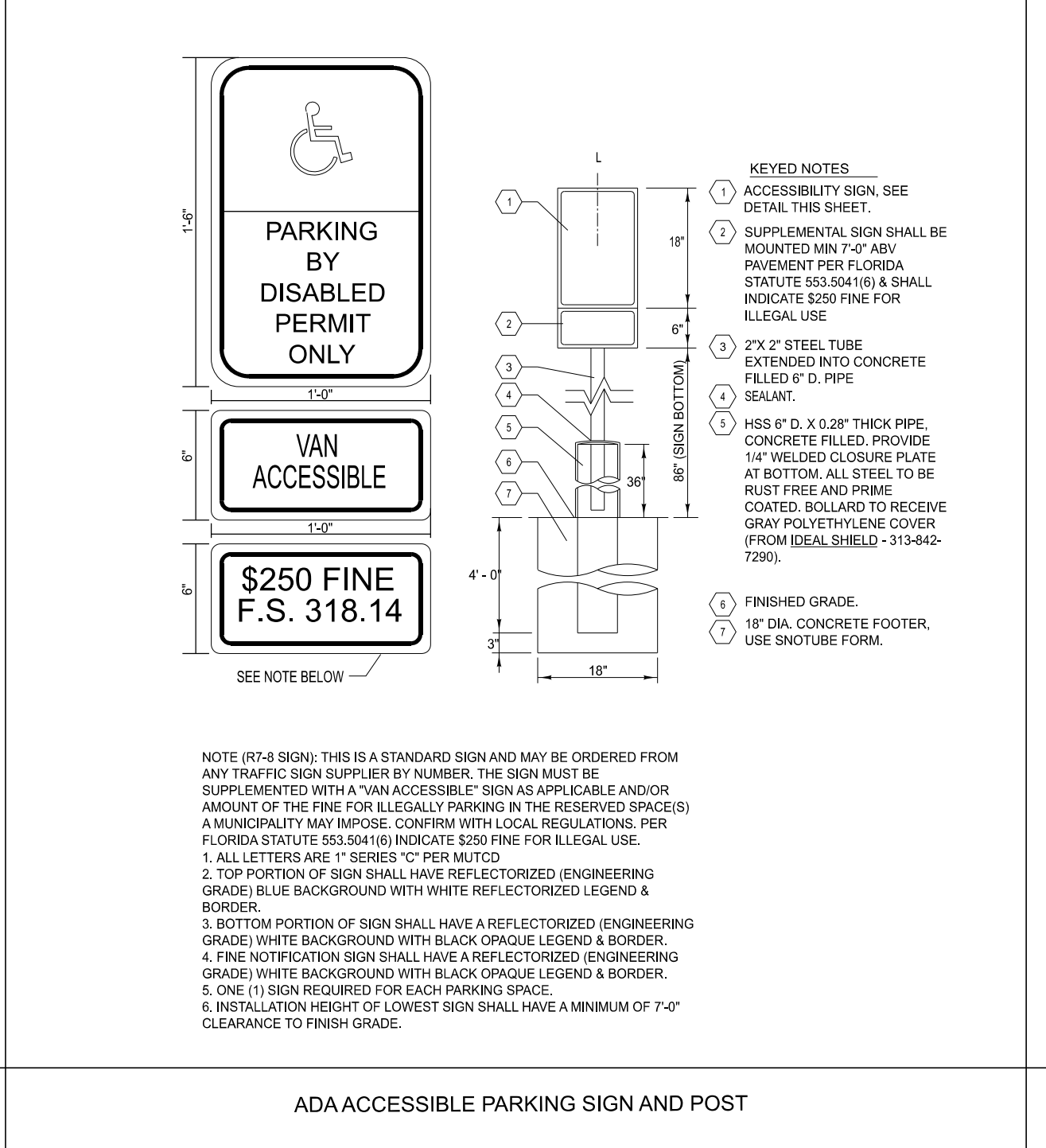
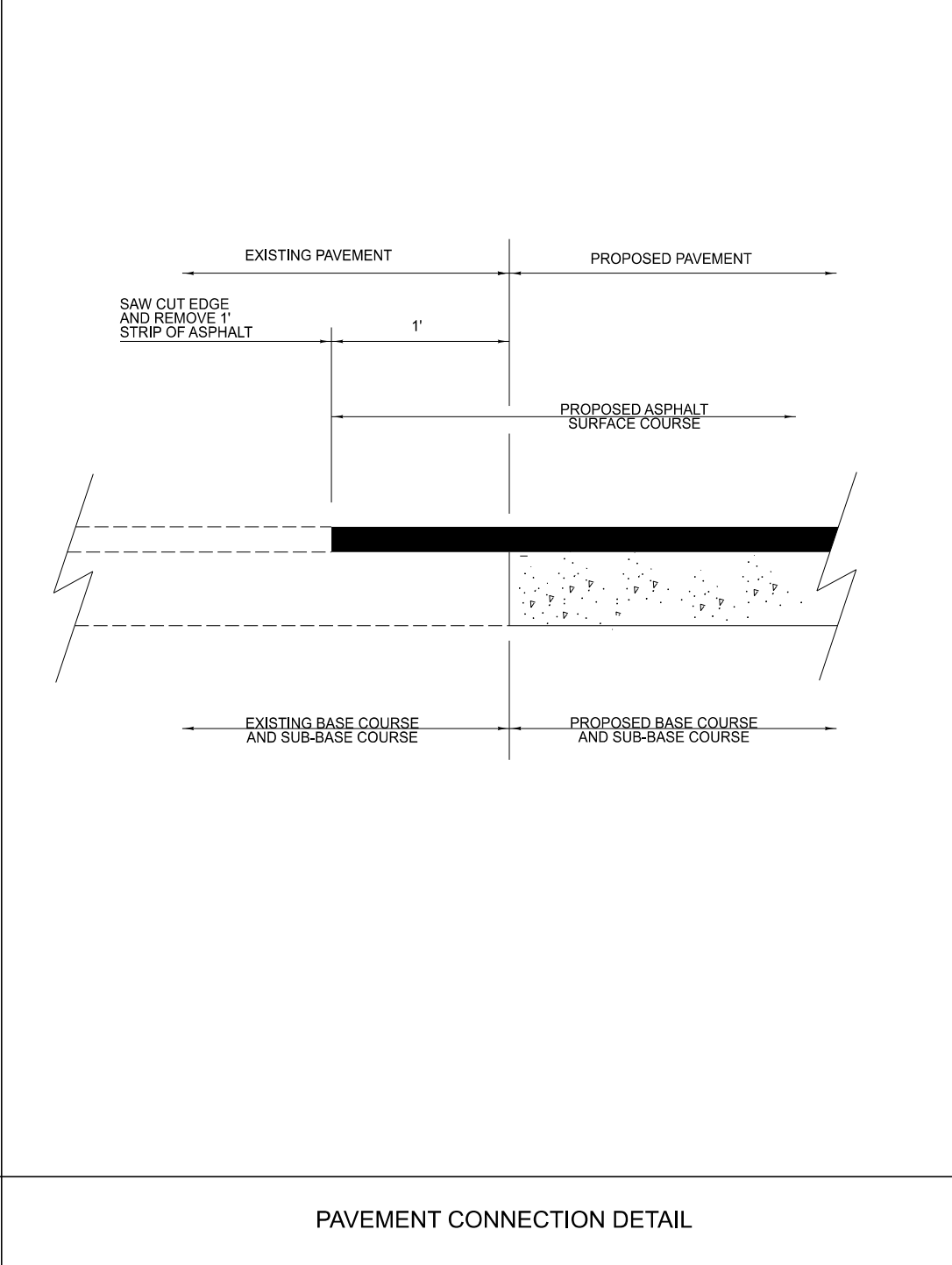
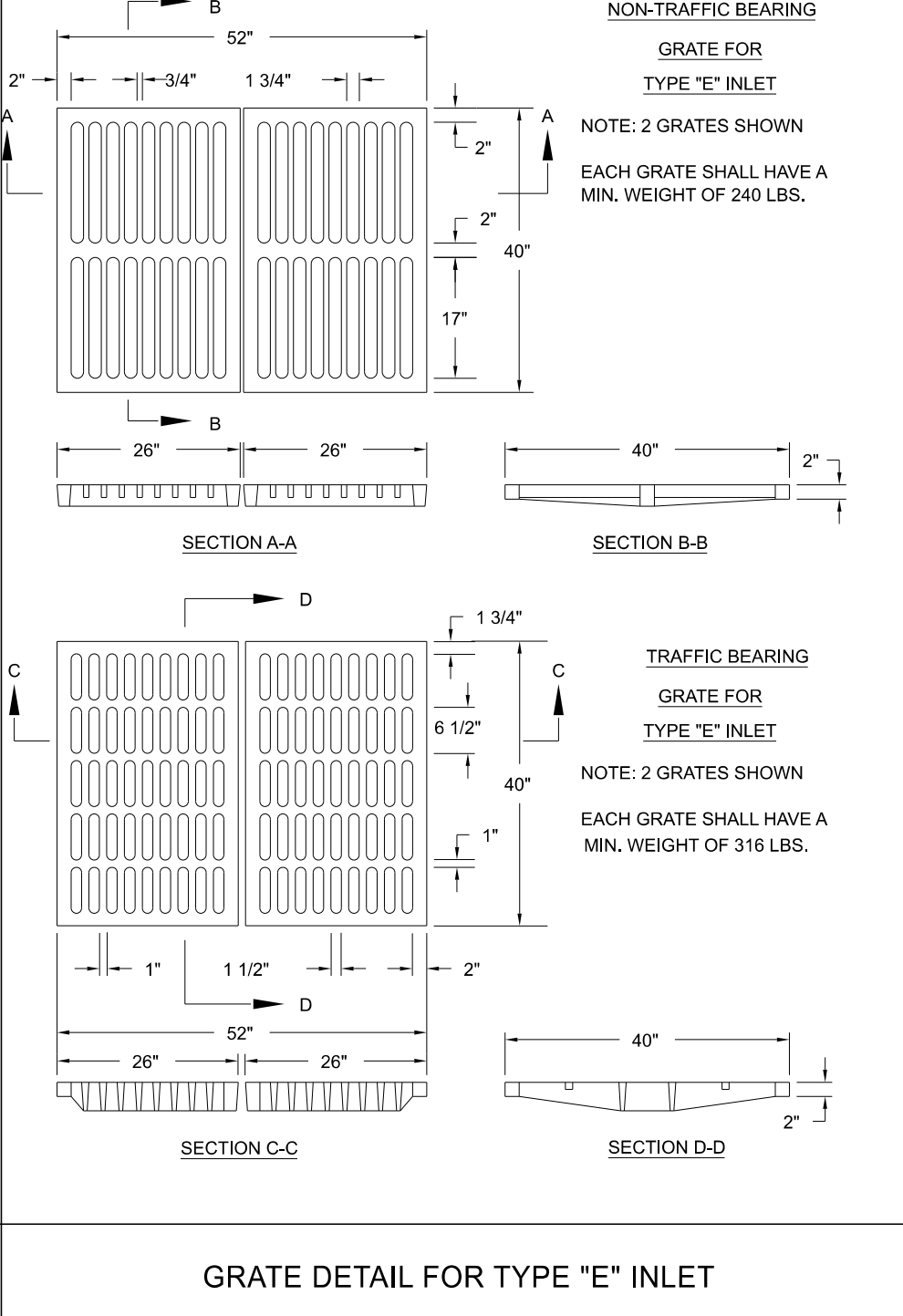
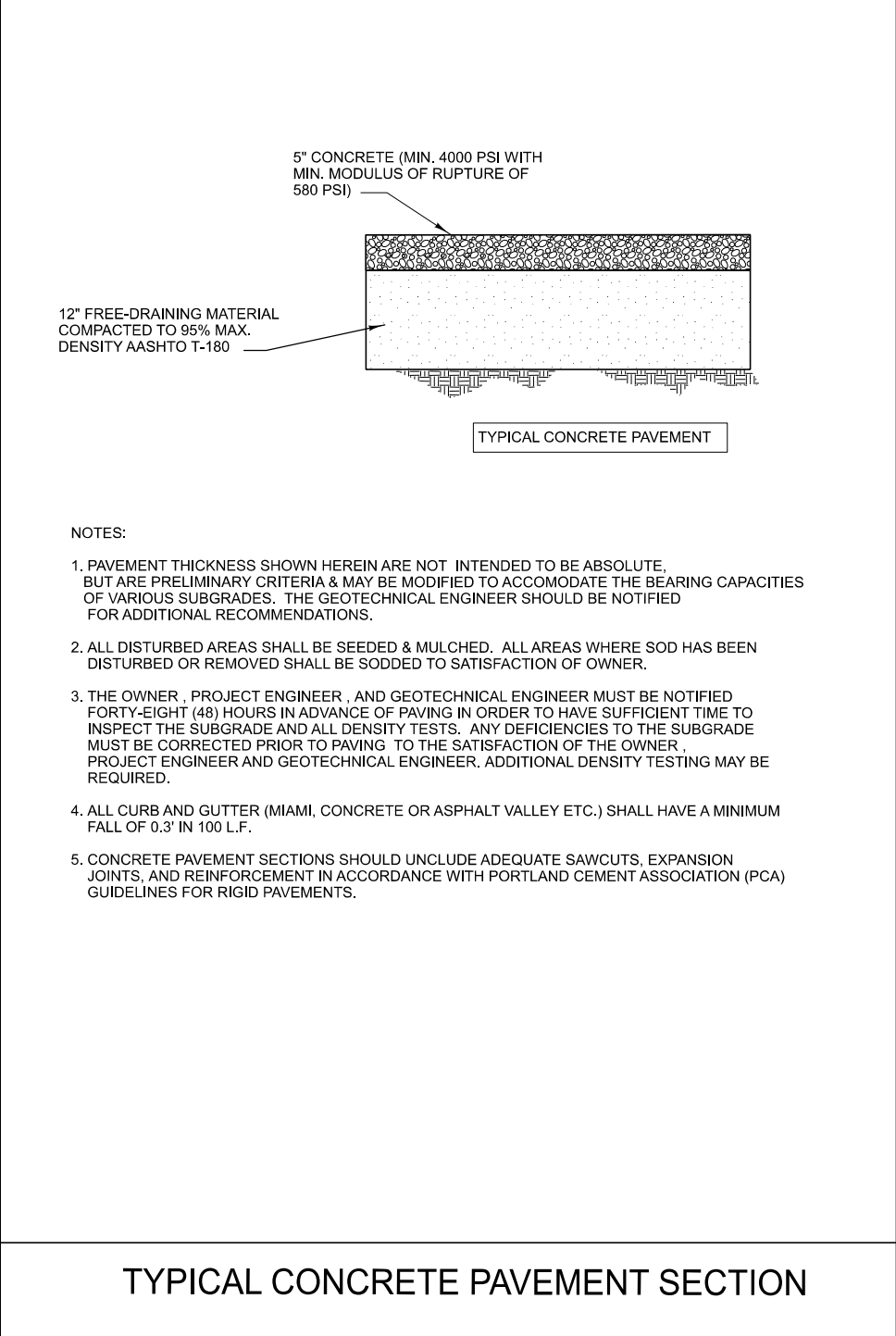
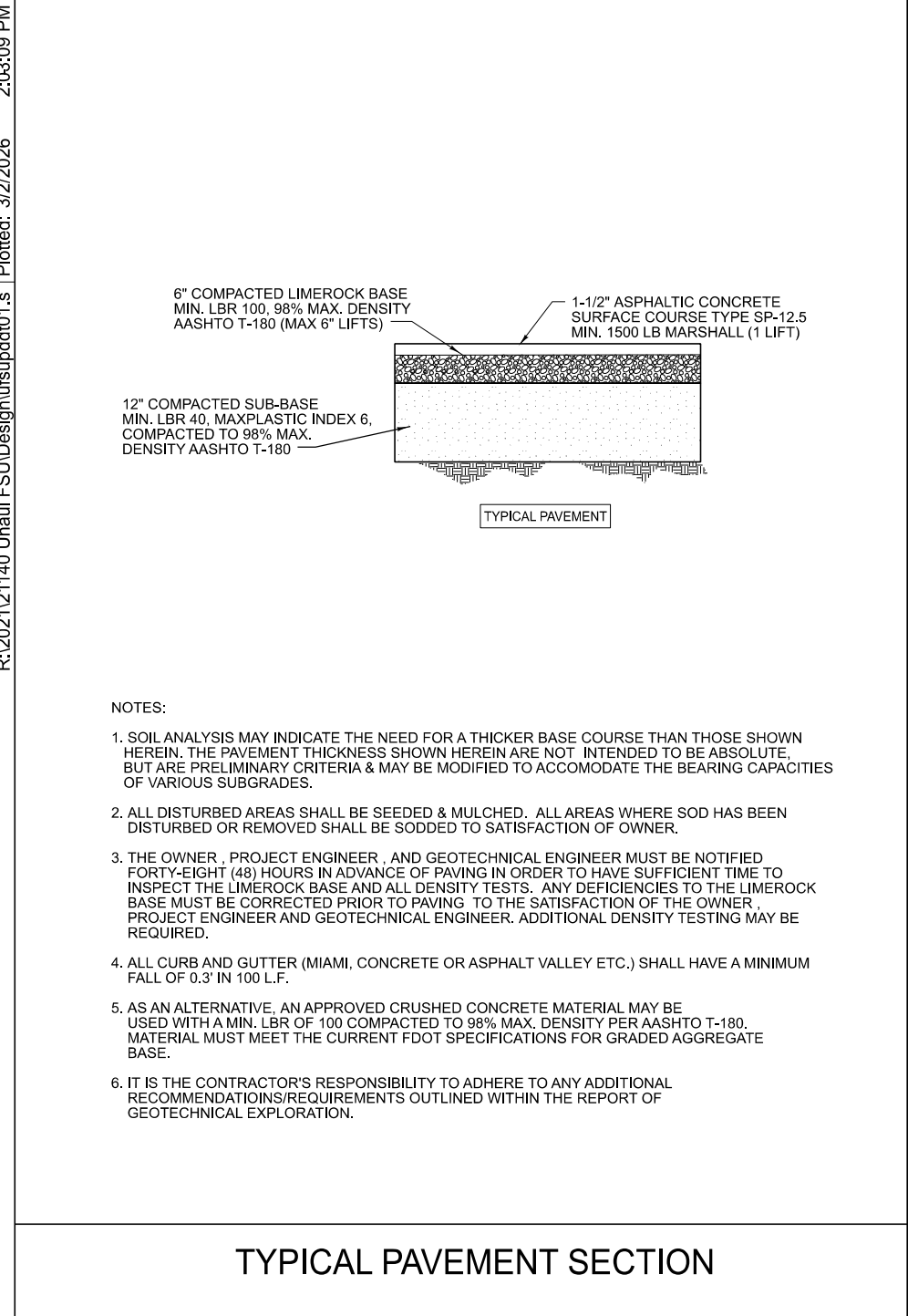
Taylor & White, Inc.
Civil Design & Consulting Engineers
9556 Historic Kings Road S., Suite 102
Jacksonville, Florida 32257
t: (904) 346-0671 • f: (904) 346-3051
www.TaylorandWhite.com

Scale:	1"=30'
Proj. Mgr:	B. Rohrer
Designer:	B. Rohrer
Drawn by:	C. Johnson

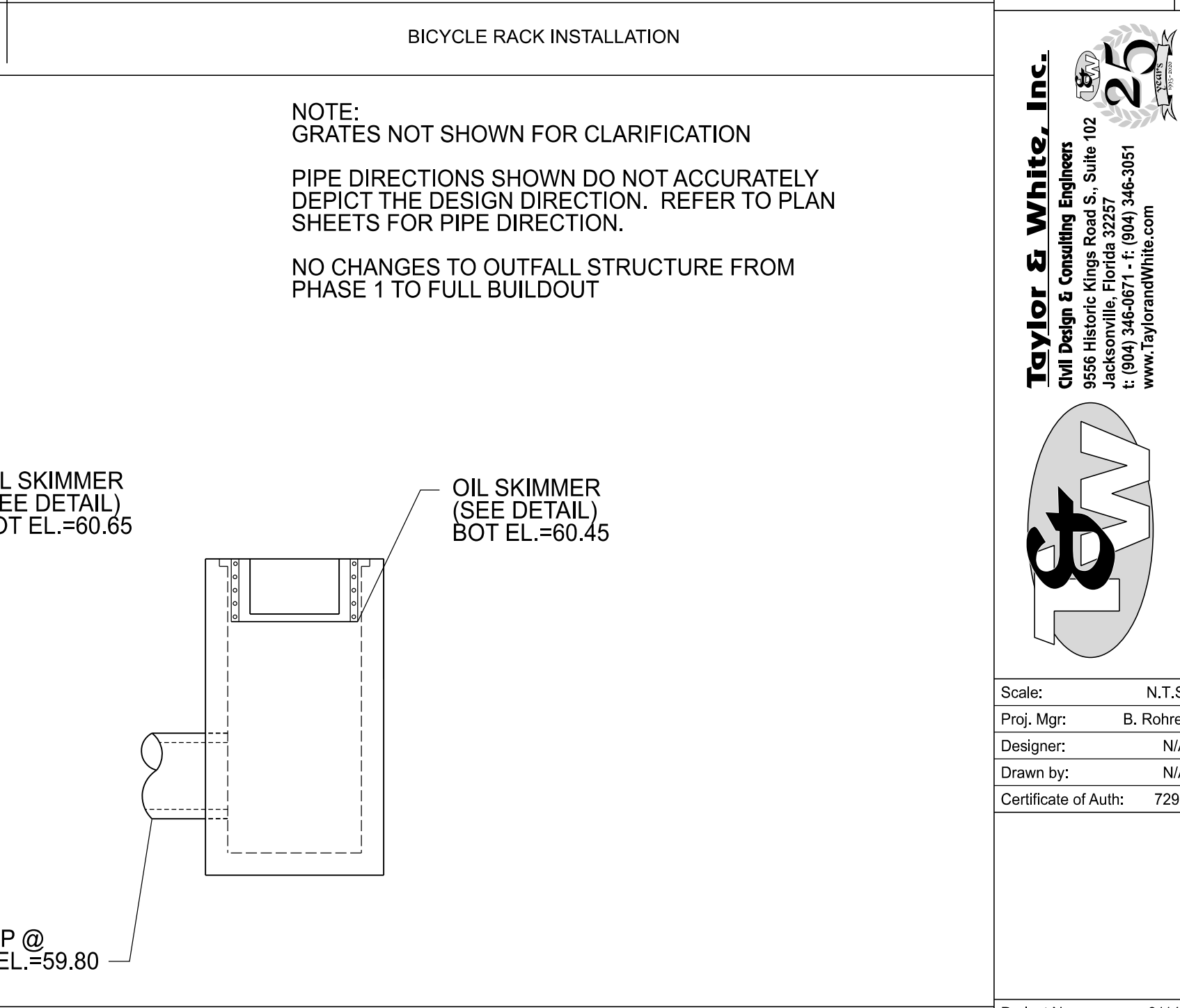
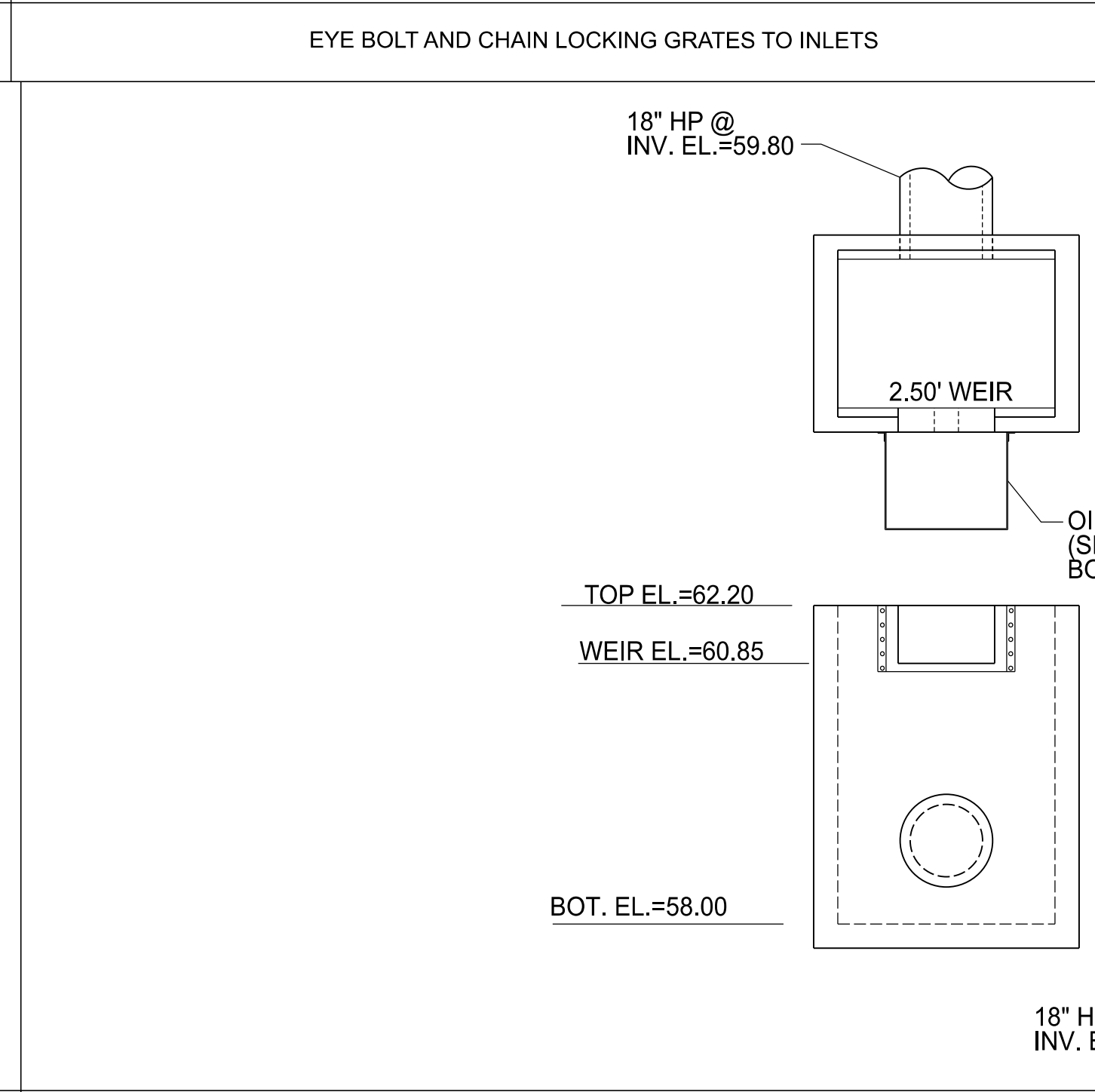
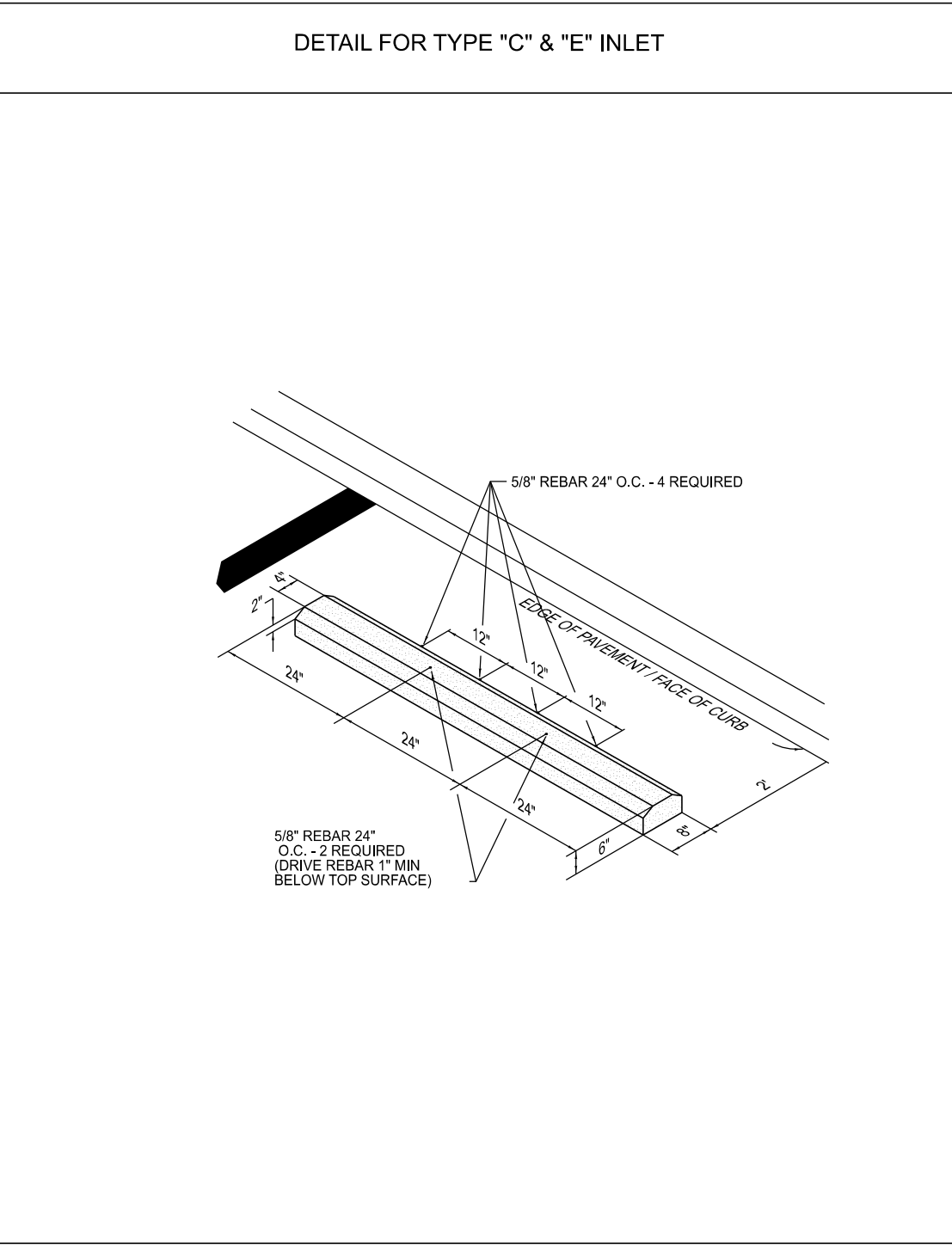
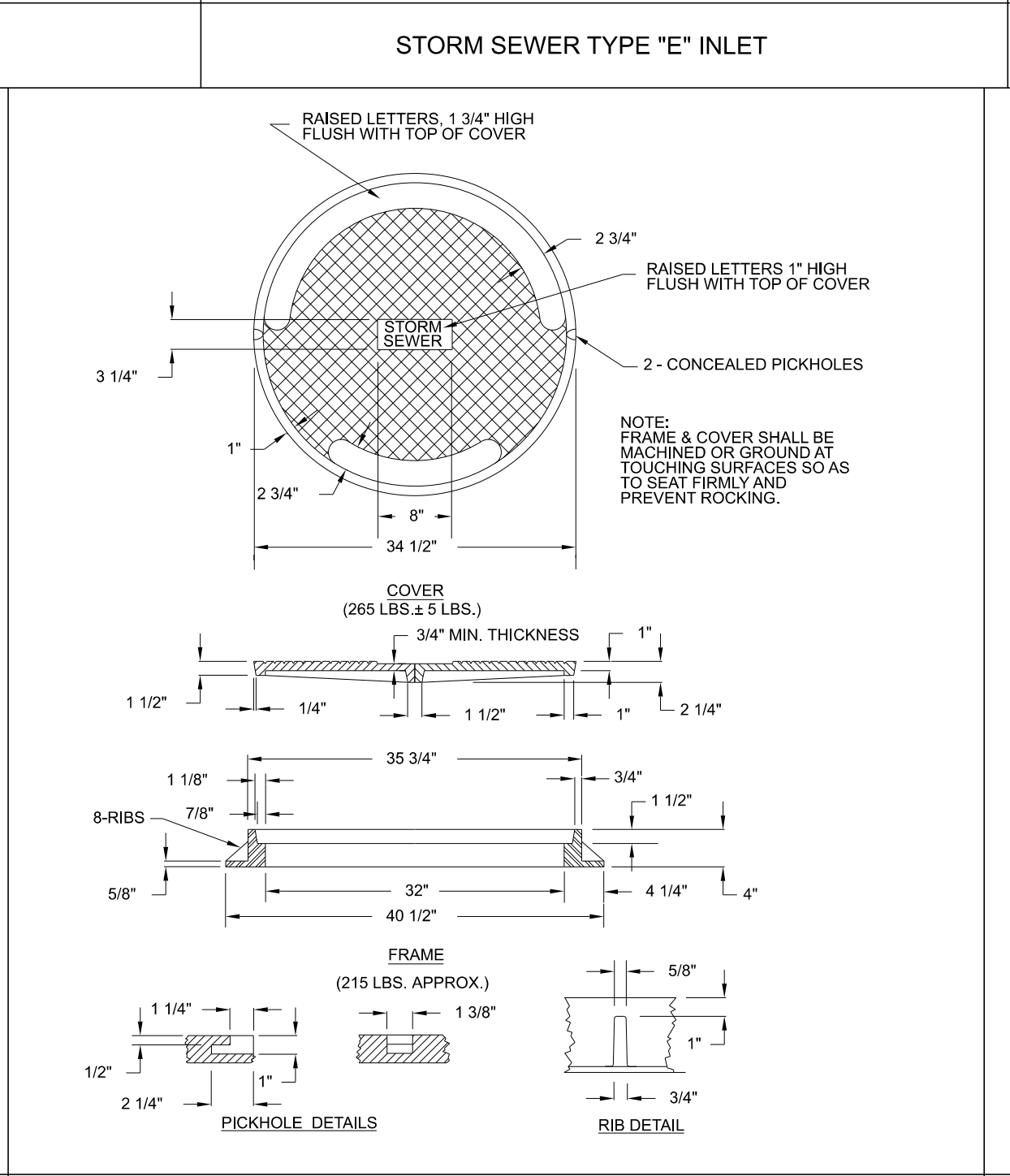
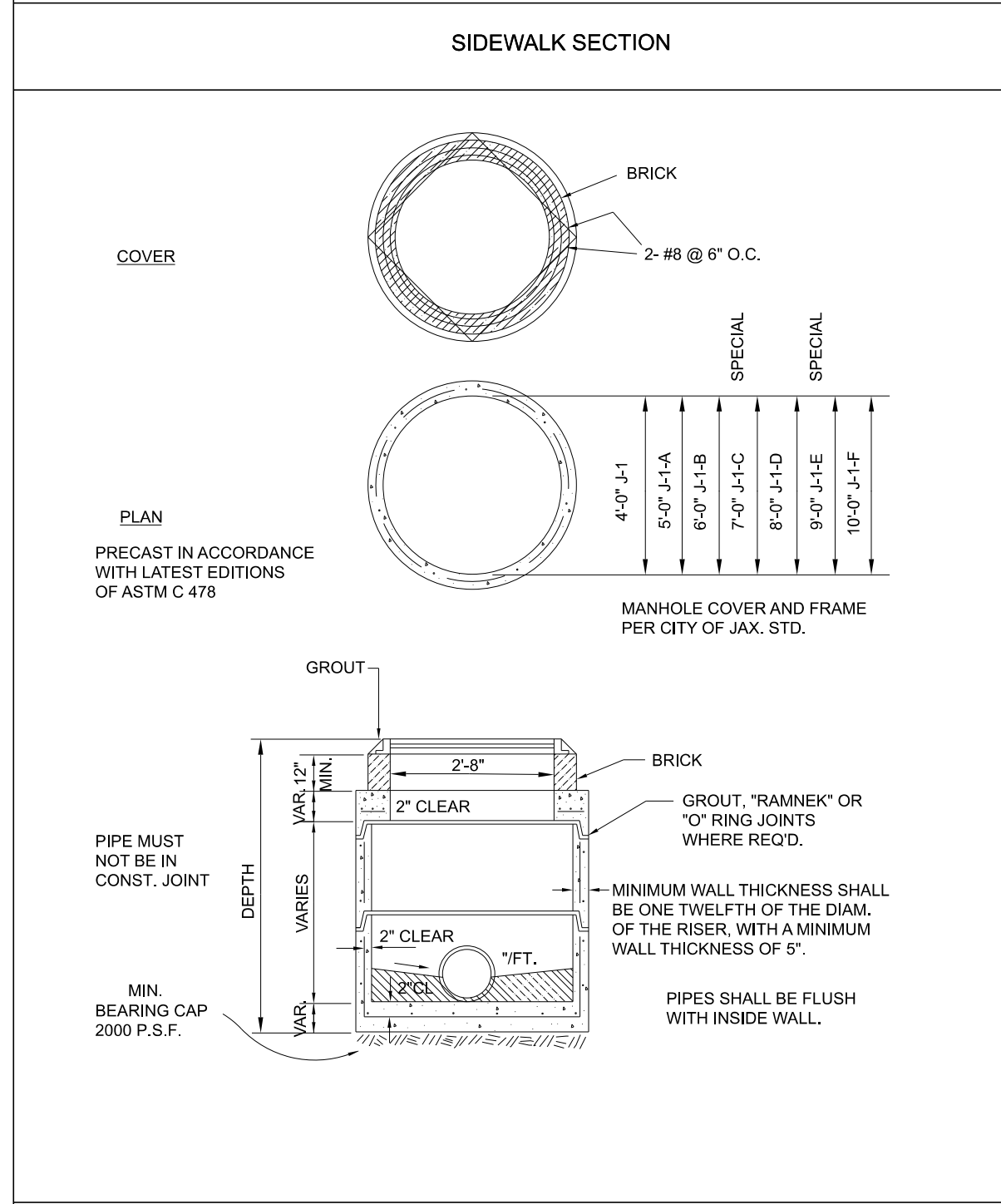
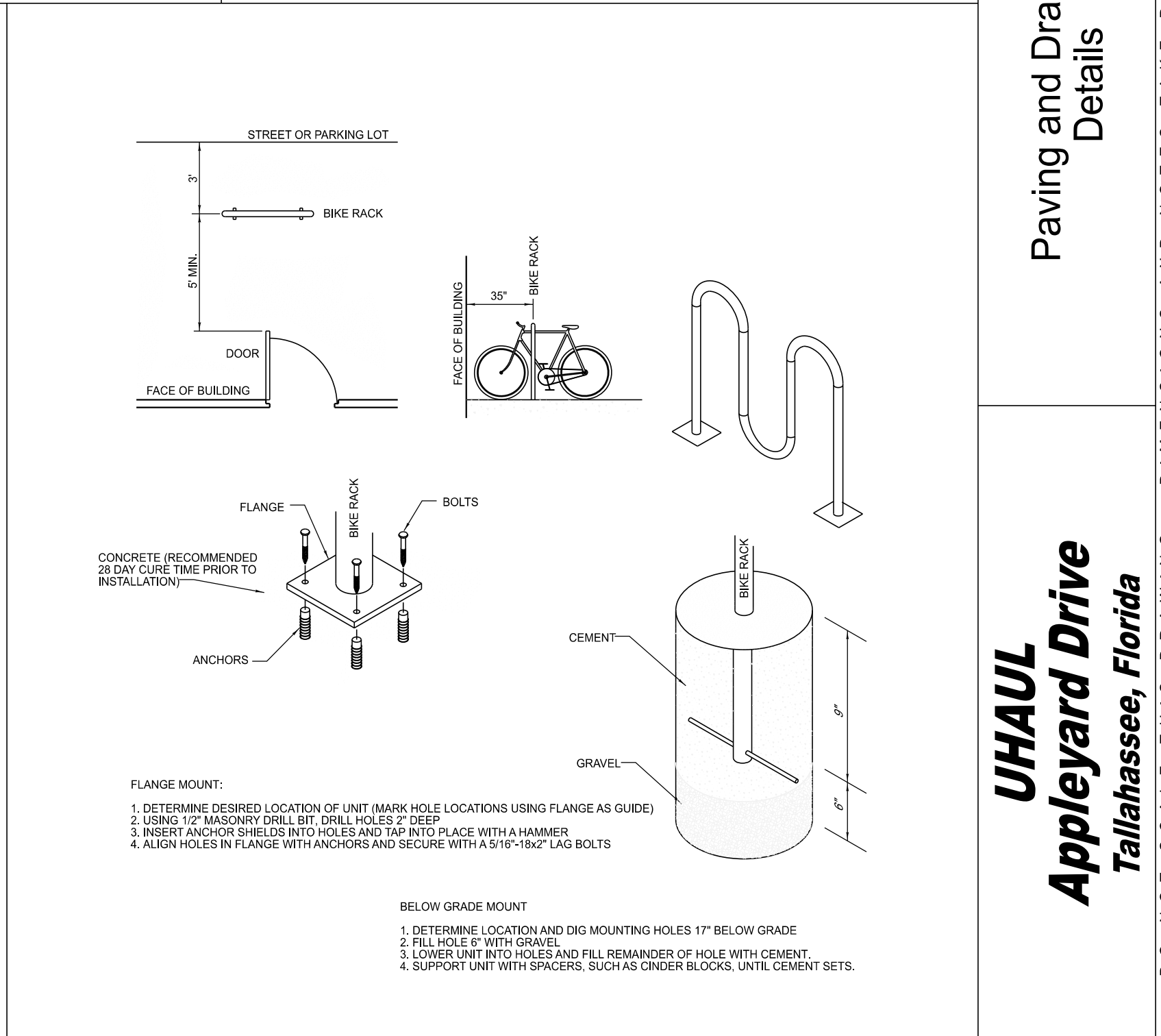
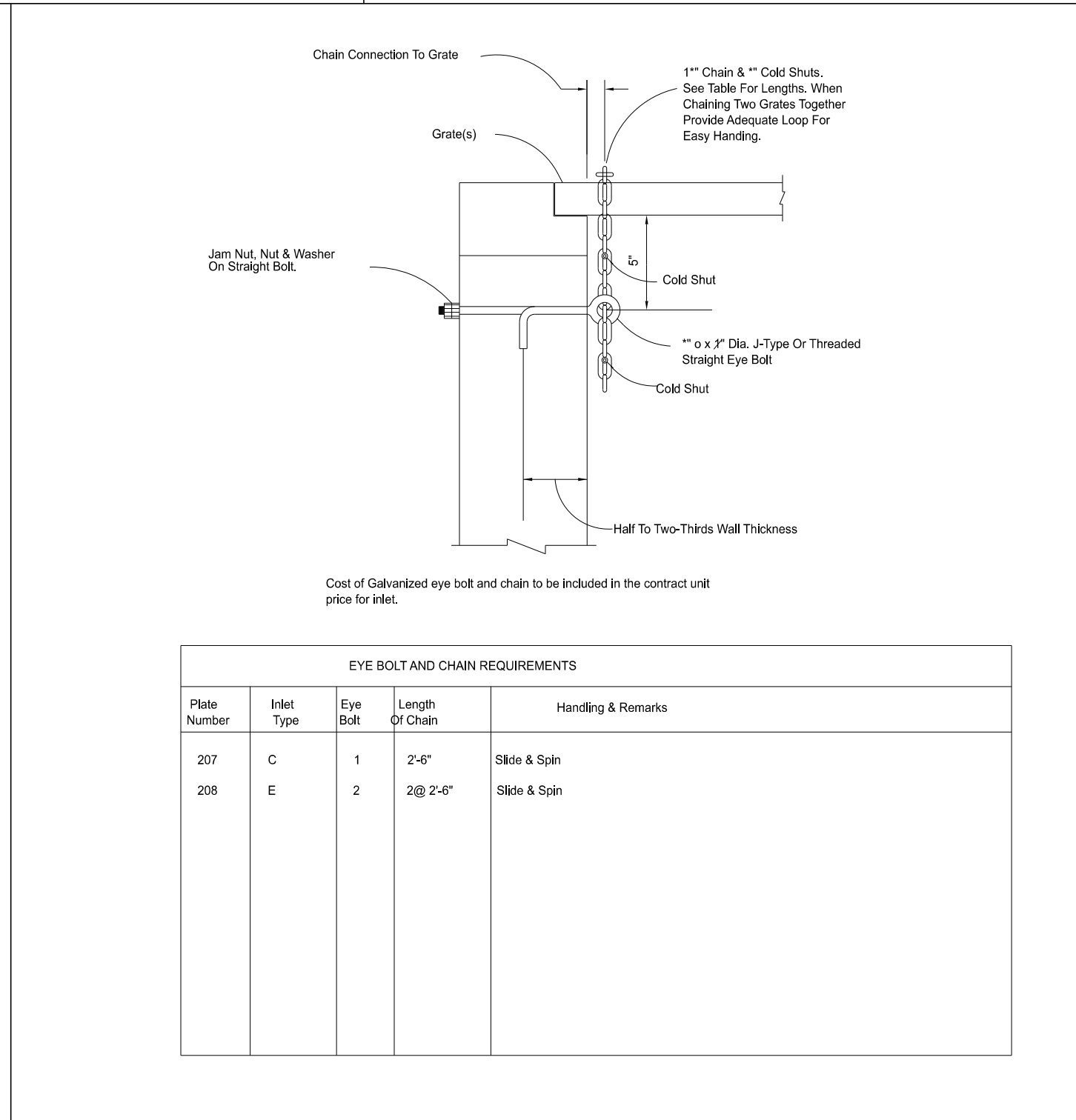
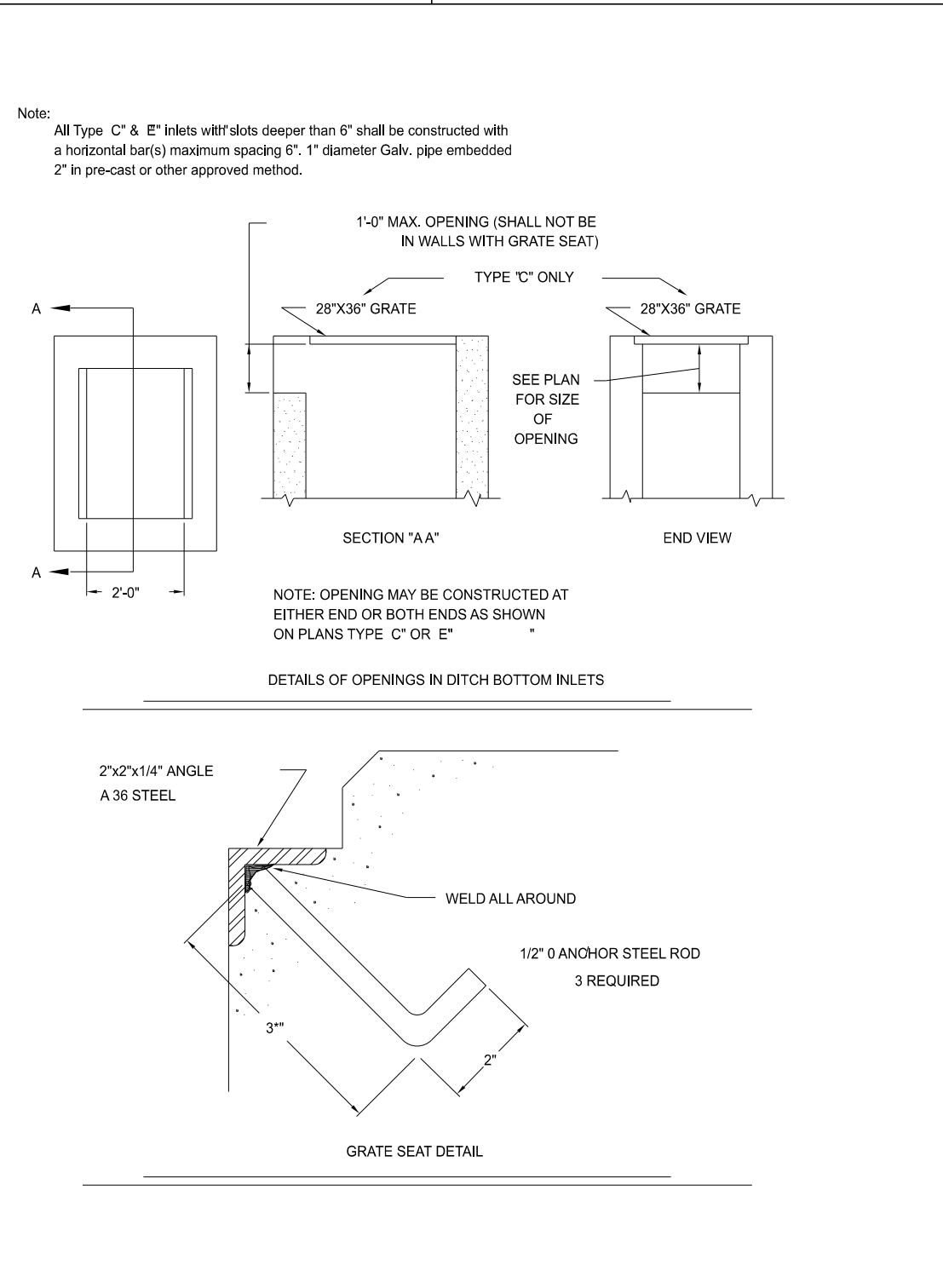
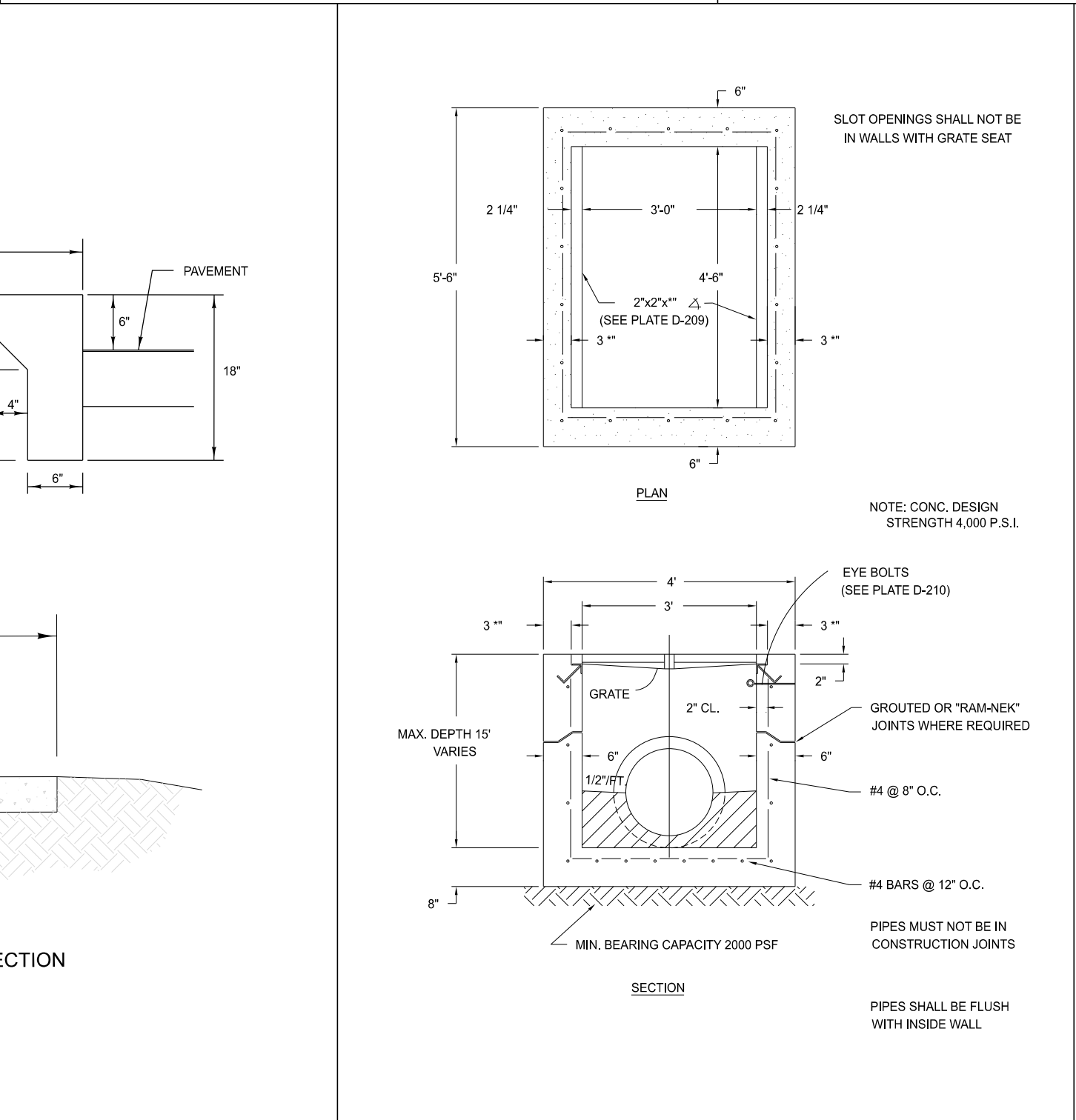
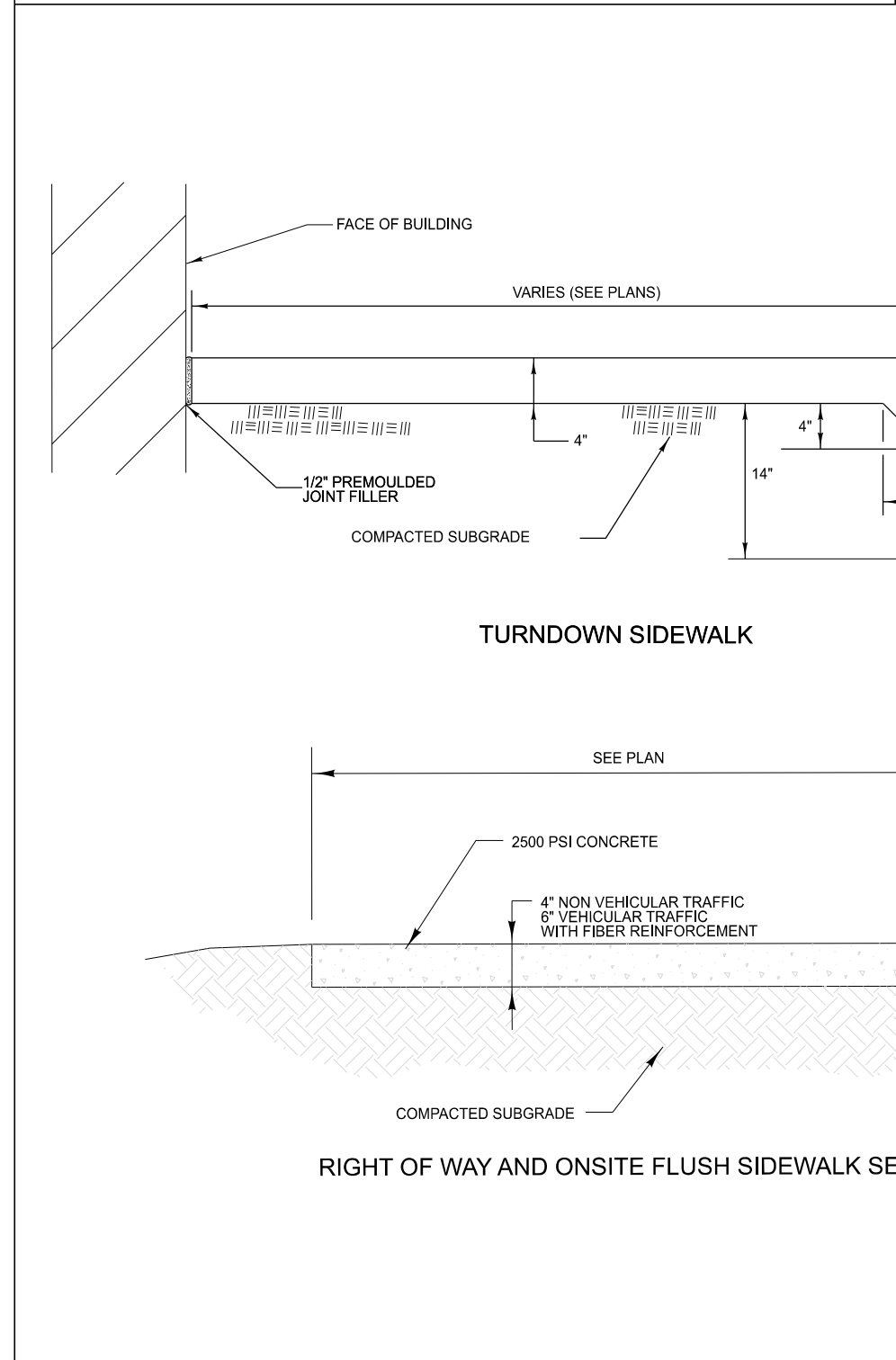


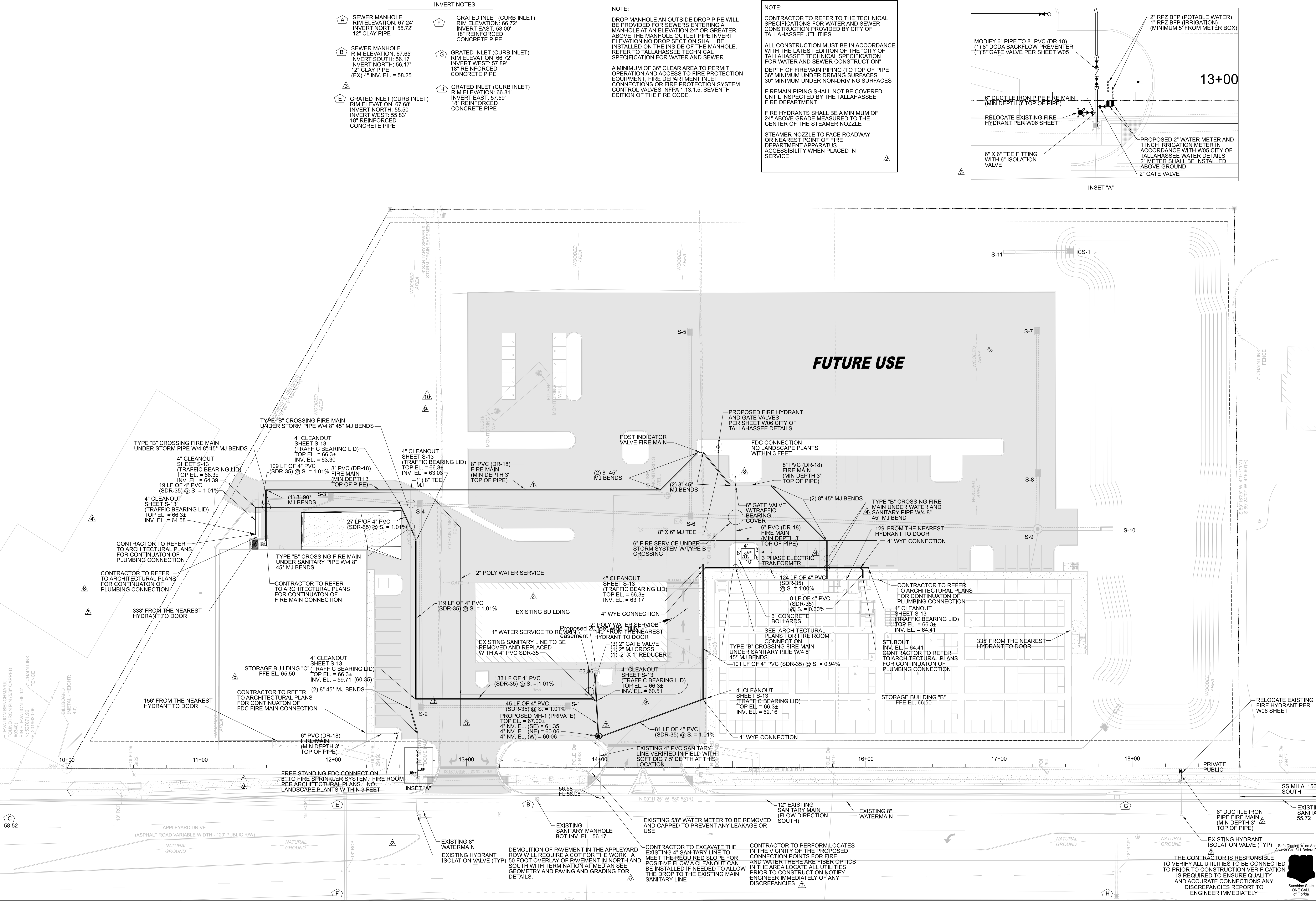
Project No.:	21140
Date:	July 2, 2024
Sheet No.:	8A

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NOTES FOR MANHOLES & INLETS			
1. For square or rectangular precast drainage structures, either deformed or smooth welded wire fabric may be used provided: a) The smooth welded wire fabric shall comply with ASTM A-185, and deformed welded wire fabric shall comply with ASTM A-497. b) Width and length of the unit is four times the spacing of the cross wires. c) Wire fabric shall be continuous around the box, spliced at quarter point(s) with overlap of not less than the spacing of the cross wires plus two inches. 2. Horizontal steel in the walls of rectangles structures shall be lapped a minimum of 24 bar diameter at corners. 3. Welding of splices and laps is permitted. The requirements and restrictions placed on welding in AASHTO M-259 shall apply. 4. Rebar straight and embedment or peripheral reinforcement may be used in lieu of ACI standard hooks for top and bottom slabs except when hooks are specifically called for in plans or standard drawings. 5. Concrete which meets the requirements of ASTM C-478 shall be used for structures constructed to these details. 6. Reinforcement can be either deformed bar reinforcement or welded wire fabric. Bar reinforcement other than 40 KSI may be used, however only two grades are recognized: Grade 40 and Grade 60. Welded wire fabric, including deformed welded wire fabric, will be recognized as having a design strength of 65 KSI. The area of reinforcement required may be reduced in accordance with the Equivalent Steel Area Table provided. For bars and spacing not given, the steel area required can be determined by the following equations: Grade 60 Steel Area = $A_s 60 = 40A_{60K} \times A_s 40$ Welded Wire Fabric Steel Area = $A_s 60 = 40A_{60K} \times A_s 40$ In no case will fabric with wires smaller than W3.1 or spacing greater than 12" be permitted. Bar reinforcement shall show the minimum yield designation grade mark of either the number 60 or one (1) grade mark line to be acceptable at the higher value. Maximum bar spacing shall not be greater than two (2) times the slab thickness with a maximum spacing shall not be the wall thickness, with a maximum spacing of 18".			
EQUIVALENT STEEL AREA TABLE			
GRADE 40 REINFORCING BAR	Steel Area	EQUIVALENT GRADE 60 REINFORCING BAR	EQUIVALENT 65 KSI WELDED WIRE FABRIC
Bar Size & Spacing		Bar Size & Spacing	Style Designation
# 4 @ 12" CCEW	0.20	#3 @ 9" CCEW	1333
# 4 @ 12" CCEW	0.20	#3 @ 13" CCEW or #3 @ 7" CCEW	.1778
# 6 @ 8" CCEW	0.20	#6 @ 9" CCEW	.5867
# 7 @ 8" CCEW	0.20	#3 @ 8" CCEW or #7 @ 9" CCEW	.50
			4"x4"-W3.1-W3.1 or 4"x4"-W5.5-W5.5 or 6"x6"-W5.5-W5.5 or 4"x4"-W20-W20 or 6"x6"-W26-W26
			1.230
			.1641
			.5415
			.7385





No.	Date	Description	By	Check
10	7-8-2025	Per Tallahassee Utility update	BR	BR
9	7-8-2025	Per Relocation of Storm Str. S-4	BR	BR
8	7-8-2025	Revised per Utility Comments	BR	BR
7	2-19-2025	Revised per Utility Comments	BR	BR
6	2-19-2025	Revised per Utility Comments	BR	BR
5	1-17-2024	Revised per TSP 230090 Comments	BR	BR
4	10-16-2023	Revised Fire Connection Per Client	BR	BR
3	8-15-2023	Revised Fire Connection Per Client	BR	BR
2	8-15-2023	TSP220025 Tallahassee Comments	BR	BR
1	7-20-2022	TSP220025 Tallahassee Comments	BR	BR

UHAUL
Appleyard Drive
Tallahassee, Florida

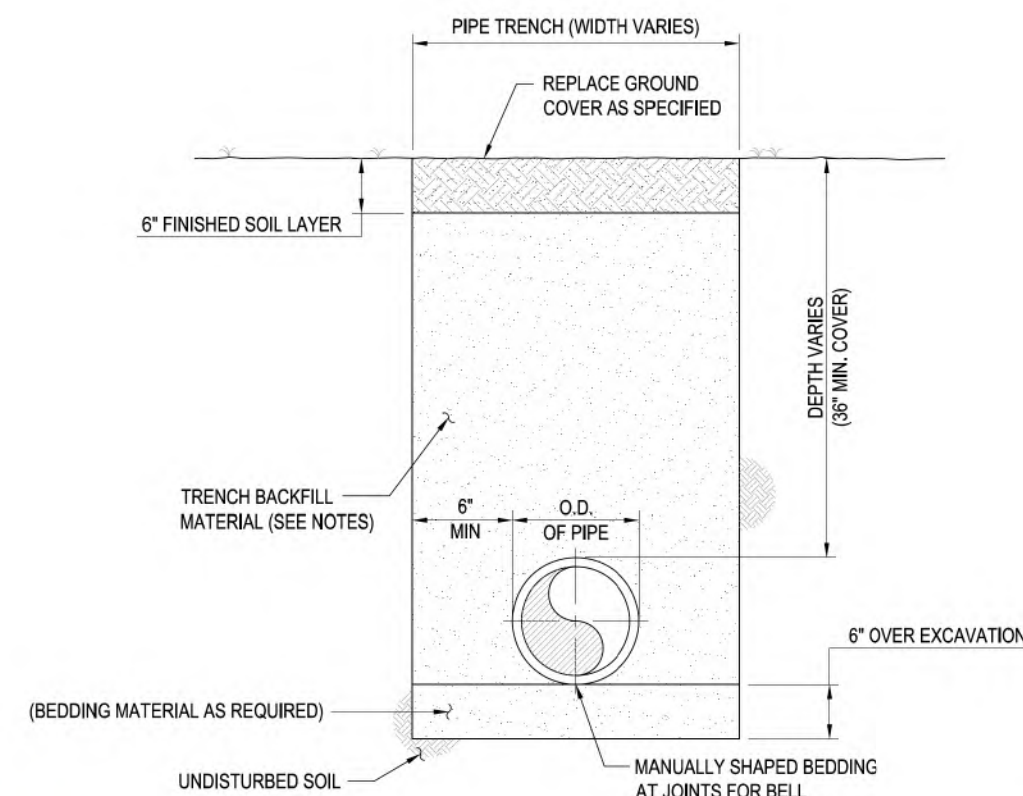
Taylor & White, Inc.
Civil Design & Consulting Engineers
9556 Historic Kings Road S., Suite 102
Jacksonville, Florida 32257
904-346-3051
www.TaylorandWhite.com

Scale: 1"=30'
Proj. Mgr: B. Rohrer
Designer: R. Howard
Drawn by: R. Howard
Certificate of Auth: 7298

Project No.: 21140
Date: July 2, 2024
Sheet No.: 10 of 10

NOTES

1. TRENCH BACKFILL SHALL BE "SUITABLE FILL" MATERIAL IN ACCORDANCE WITH THE CITY OF TALLAHASSEE TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.
2. THE TECHNICAL SPECIFICATIONS SHALL APPLY FOR ALL OTHER REQUIREMENTS NOT SUPERCEDED BY THIS DETAIL FOR ALL EXCAVATING, BACKFILLING, AND COMPACTING FOR UTILITIES.

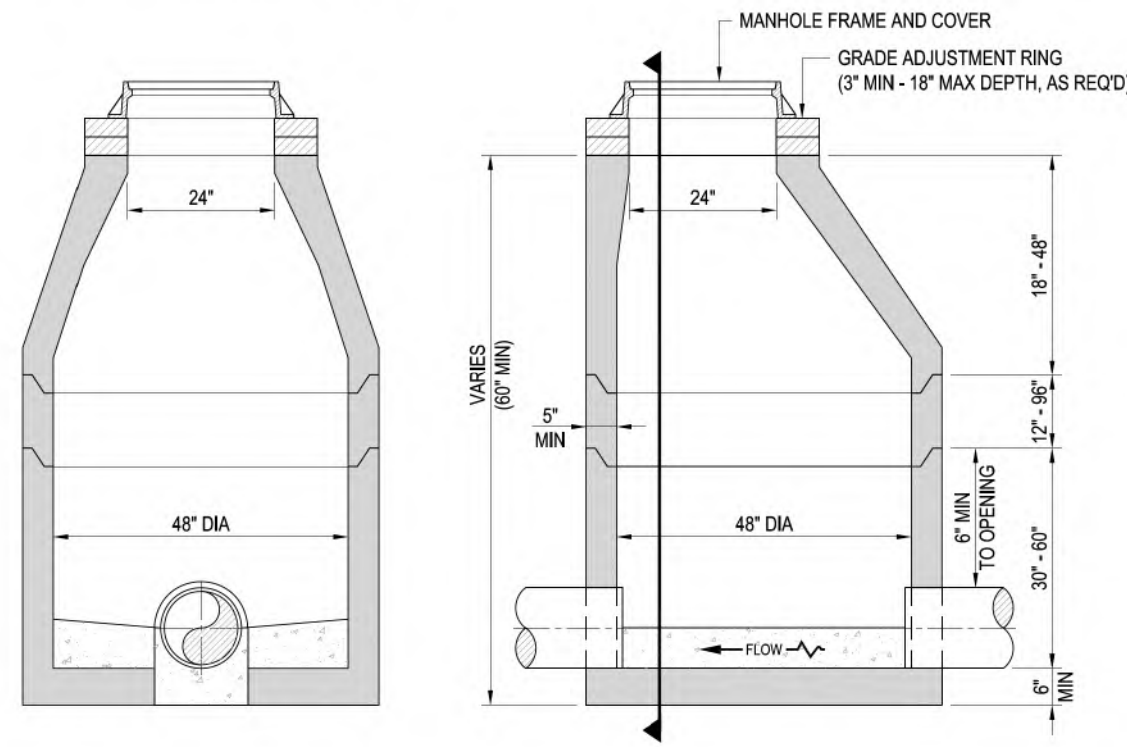


PIPE TRENCH WITHIN UNIMPROVED AREAS

Date Issued: NOVEMBER 2023	SHEET G02
Approved by: WUE	
File Location: HS-PROD\1832-WUE\Spec\06-2023	Scale: N.T.S.

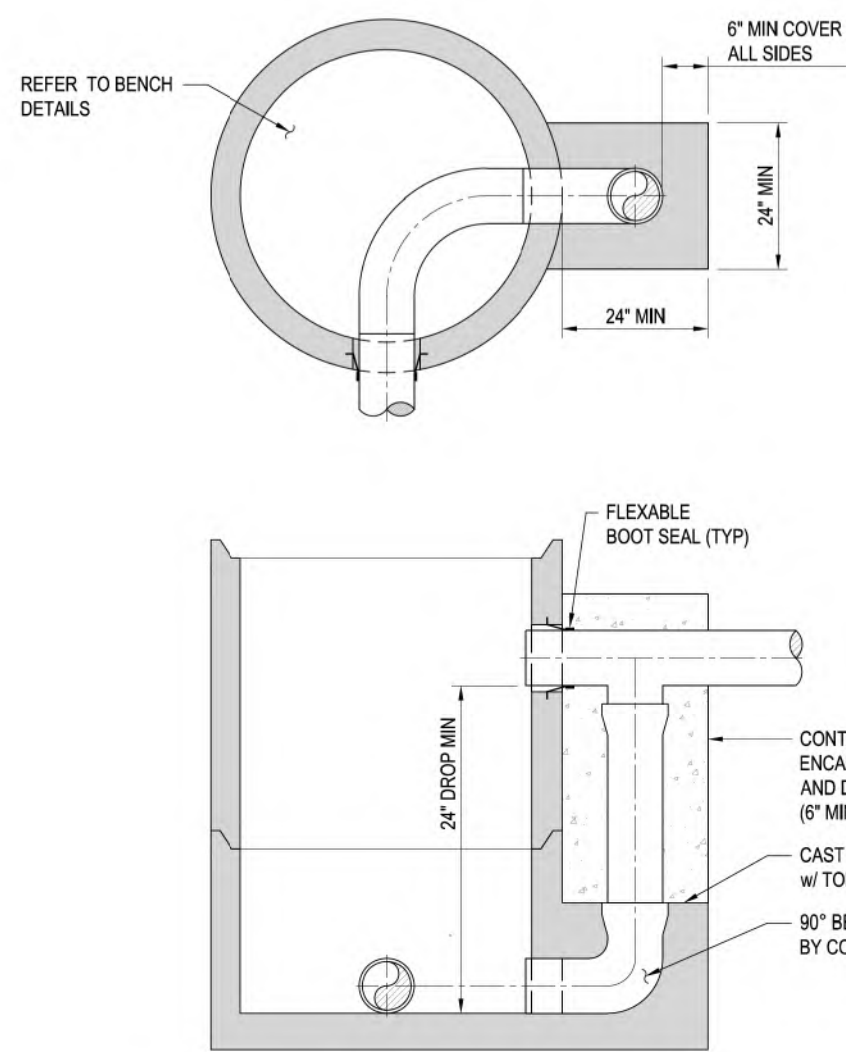
INSTALLATION NOTES:

1. **INSTALL MANHOLE**
FILE DOGHOUSE OPENINGS w/ CONC. (FDOT CLASS I OR II)
2. **FORM MANHOLE BENCH**
FORM BENCH w/ CONC. (FDOT CLASS I OR II) TO SPRINGLINE (.5D) OF PIPE
SEE MANHOLE BENCH DETAIL FOR SLOPE REQUIREMENTS.
3. **CUT EXIST PIPE**
CUT EXIST PIPE TO MATCH SPRINGLINE (.5D) OF PIPE.



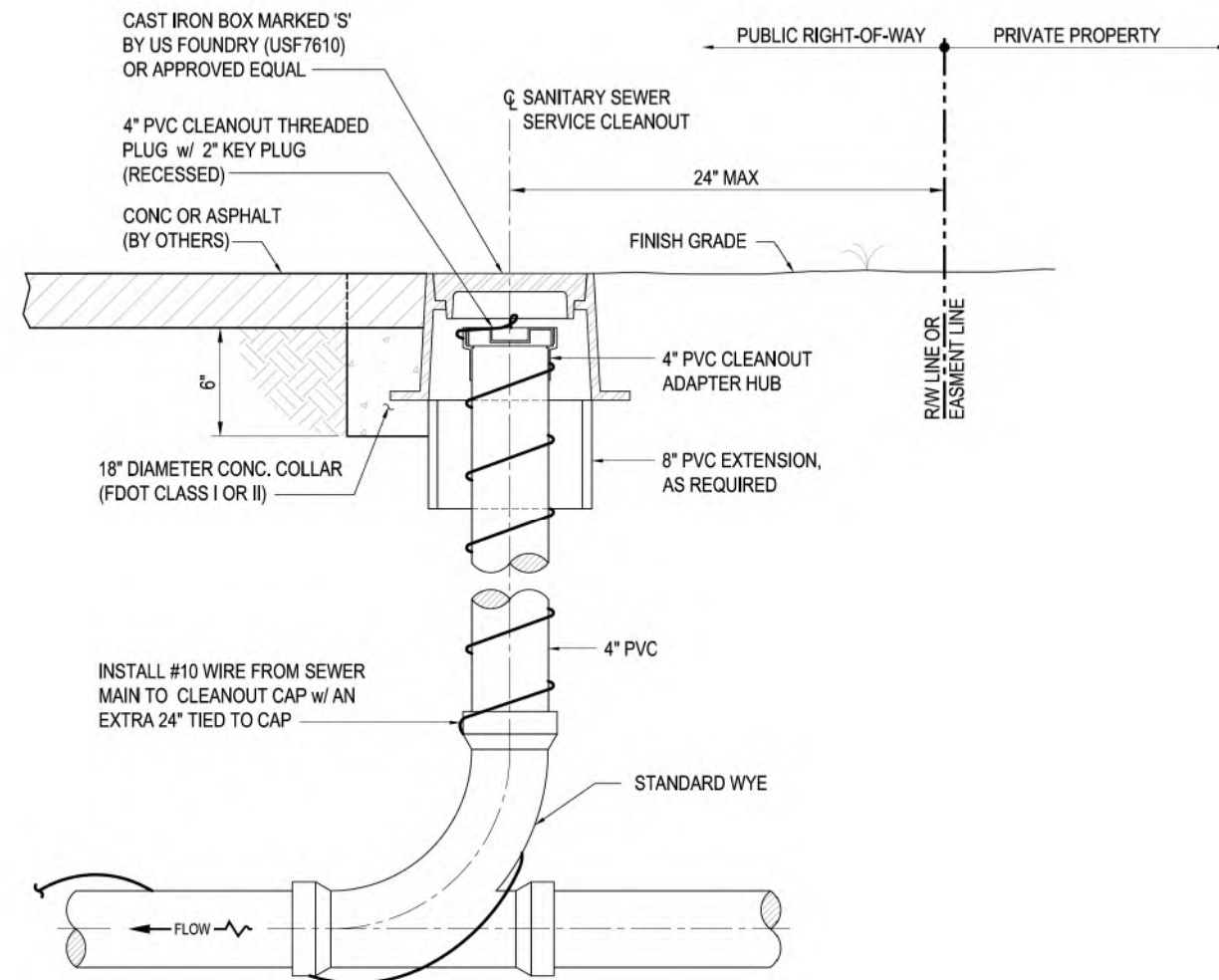
48-INCH SADDLE MANHOLE
FOR PIPE DIA 15" AND LESS
AND DEPTHS MORE THAN 5'

Date Issued: NOVEMBER 2023	SHEET S04
Approved by: WUE	
File Location: NSPROG 1600-NSISpec06-2023	Scale: N.T.S.



DROP MANHOLE
w/ PARTIAL PRECAST ENCASEMENT

Date Issued: NOVEMBER 2023	SHEET S08
Approved by: WUE	
File Location: WS\PROG\1031-018\Specs\06-2023	Soiler N.T.S.

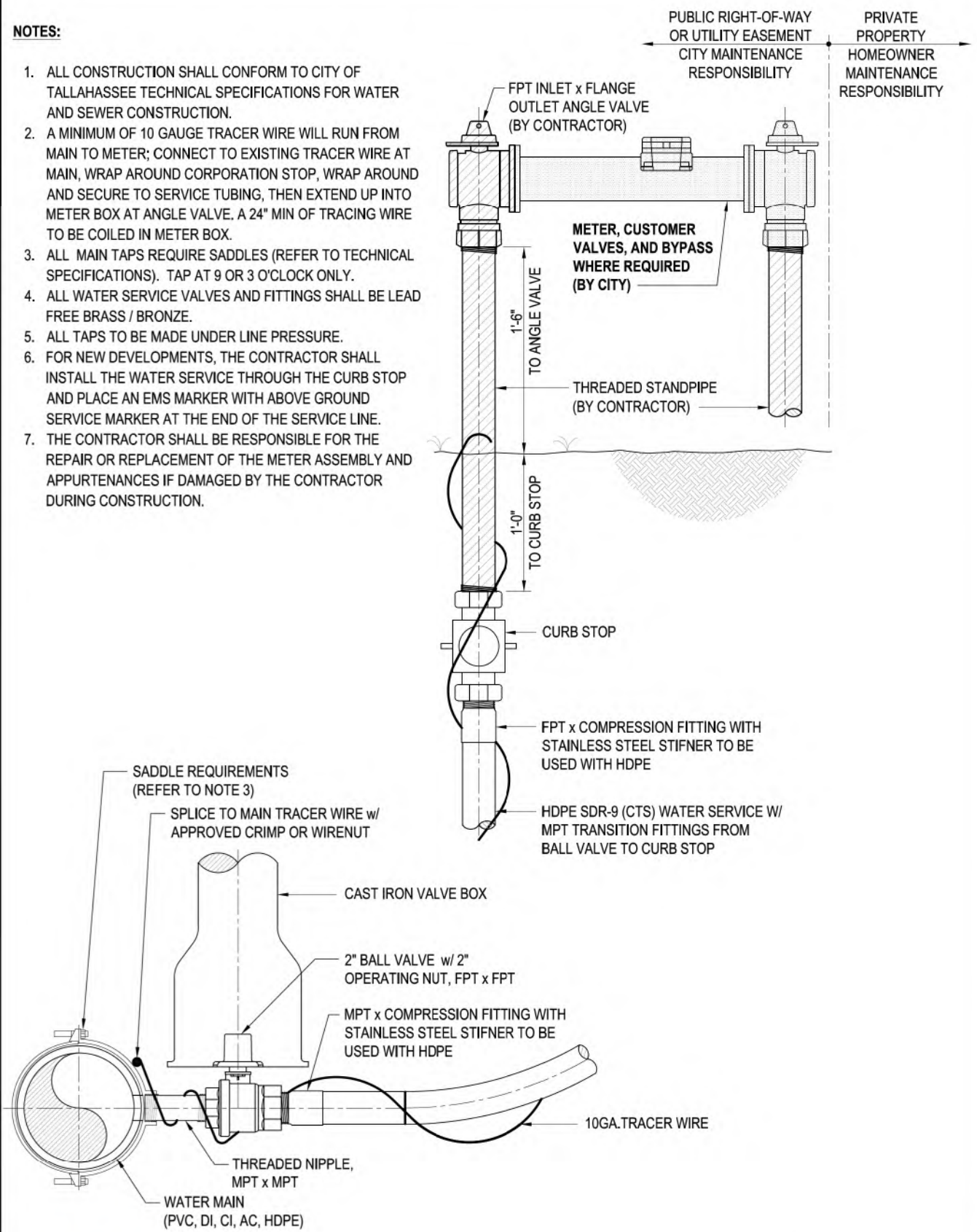


SANITARY SEWER CLEANOUT

Date Issued: NOVEMBER 2023	<u>SHEET</u> S13
Approved by: WUE	
File Location: WS-PRG-1033-WS-Spec-06-2023	Scale: N.T.S.

- ## NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO CITY OF TALLAHASSEE TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.
2. A MINIMUM OF 10 GAUGE TRACER WIRE WILL RUN FROM THE EXISTING WATER MAIN TO THE NEW WATER MAIN. THE EXISTING TRACER WIRE AT MAIN, WRAP AROUND CORPORATION STOP, WRAP AROUND AND SECURE TO SERVICE TUBING, THEN EXTEND UP INTO METER BOX AT ANGLE VALUE. A 2" MIN OF TRACING WIRE TO BE COILED IN METER BOX.
3. ALL EQUIVALENTS AND ALTERNATES (REFER TO TECHNICAL SPECIFICATIONS), TAP AT 9 OR 3 O'CLOCK ONLY.
4. ALL WATER SERVICE VALVES AND FITTINGS SHALL BE LEAD FREE BRASS / BRONZE.
5. ALL TAPS TO BE MADE UNDER LINE PRESSURE.
6. FOR ALL TAPS, THE CONTRACTOR SHALL INSTALL THE WATER SERVICE THROUGH THE CURB STOP AND PLACE AN EMS MARKER WITH ABOVE GROUND SERVICE MARKER AT THE END OF THE SERVICE LINE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF THE METER ASSEMBLY AND APPURTENANCES IF DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION.

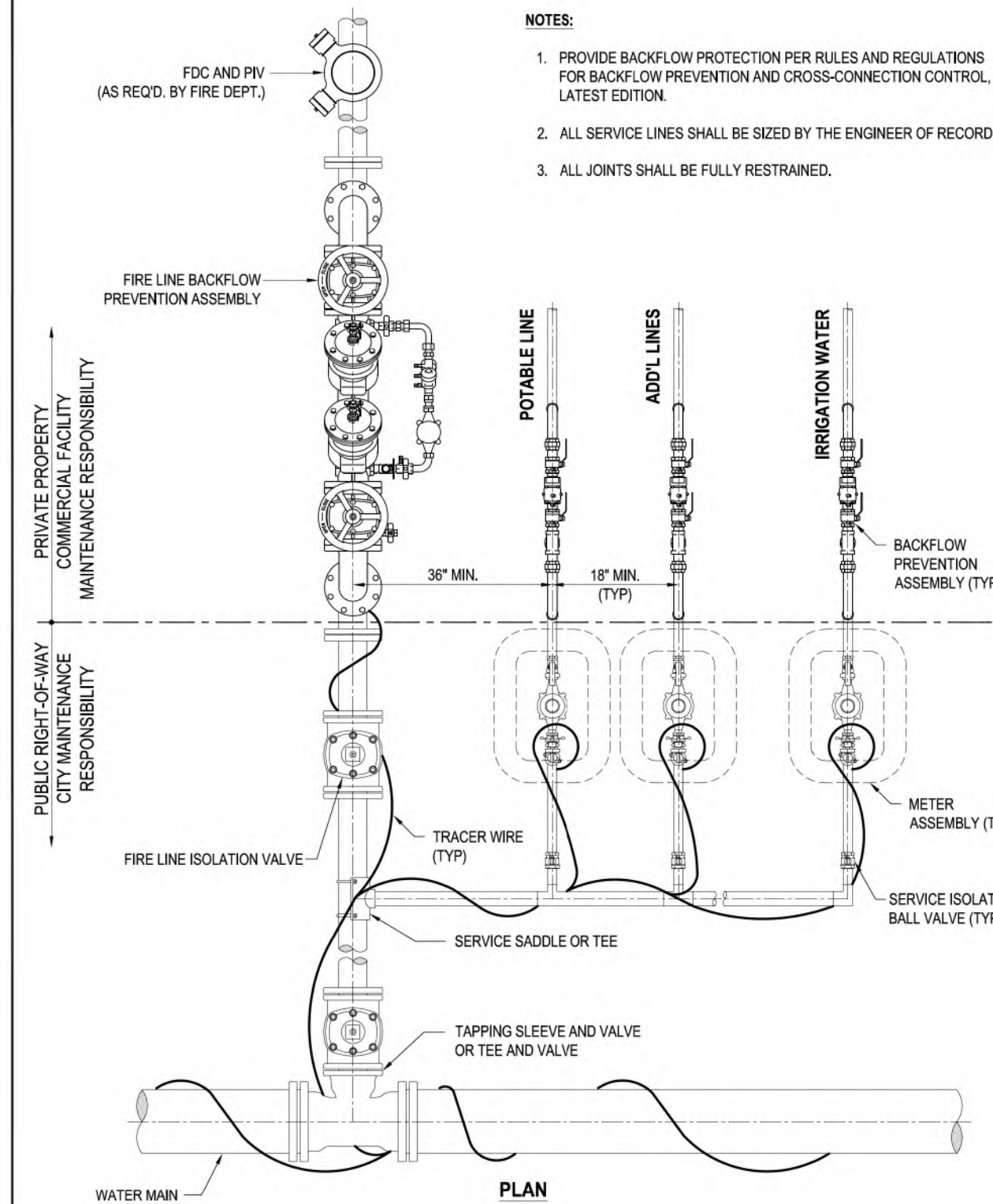


1 1/2" & 2" WATER SERVICE AND METER SETTING

Date issued: NOVEMBER 2023	SHEET W03
Approved by: WUE	
File Location: WSFROG\MOB-WIS\Spec\06-2023	Scale: N.T.S.

- NOTES:**

1. PROVIDE BACKFLOW PROTECTION PER RULES AND REGULATIONS FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL, LATEST EDITION.
2. ALL SERVICE LINES SHALL BE SIZED BY THE ENGINEER OF RECORD.
3. ALL JOINTS SHALL BE FULLY RESTRAINED.

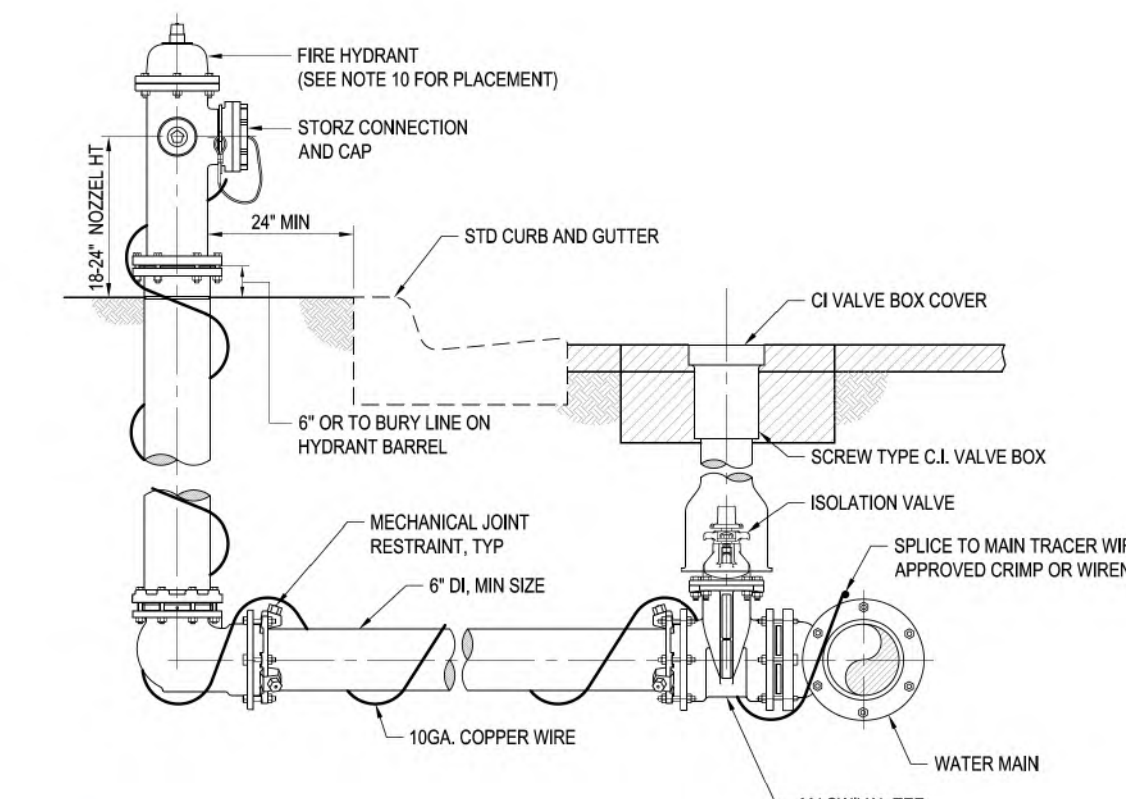


FIRELINE w/ METERED SERVICE

Date Issued: NOVEMBER 2023	SHEET W05
Approved by: WUE	
File Location: W:\PROG\1830-WES\Spec\06-2023	Scale: N.T.S.

- NOTES:**

1. HYDRANT TO BE PLACED WITH PUMPER NOZZLE FACING STREET.
2. VALVE OPENING 5 1/4" MINIMUM.
3. SIX INCH I/M CONNECTION TO MAIN.
4. HOSE NOZZLES- LAMINATE STANDARD THREADS WITH TWO 2 1/2" HOSE NOZZLES AND ONE STEAMER NOZZLE WITH 5' OPENING AND STORAGE CONNECTION WITH CAP ON NOZZLE.
5. ALL PIPE FROM MAIN TO HYDRANT SHALL BE RESTRAINED DUCTILE IRON w/ FITTINGS.
6. COMPACTION WILL BE 100% STANDARD PROCTOR.
7. DEPTH OF PIPE TO HAVE 36" MINIMUM COVER.
8. HYDRANTS PAINT SHALL BE COXEM (U-10) HIGH SOLIDS, GLOSS POLYURETHANE) OVER (M-10: UNIVERSAL PRIMER) OR APPROVED EQUAL.
9. HYDRANTS COLOR:
SAFETY YELLOW - HYDRANTS PLACED ON CITY WATER MAINS.
RED - HYDRANTS PLACED ON PRIVATE WATER MAINS.
OFF WHITE - HYDRANT PRIMER.
10. HYDRANT PLACEMENT:
CURB AND GUTTER STREET - AS NOTED PER PLANS
OPEN DITCH STREET - TOP OF BACKSLOPE OF DITCH, ON THE ROW LINE AND OR PROPERTY CORNER.
(MAX. 10' FROM DRAINING SURFACE)
11. CLEARANCES OF SEVEN AND ONE HALF FEET IN FRONT OF AND TO EACH SIDE OF HYDRANT WITH FOUR FOOT TO THE REAR SHALL BE MAINTAINED.



FIRE HYDRANT CONNECTION

Date Issued: NOVEMBER 2023	SHEET W06
Approved by: WUE	
File Location: WIPROD\2023-W06\Spec06-2023	Scale: N.T.S.

D. Glynn Taylor, P.E.
State of Florida, Professional
Engineer, License No. 44163
This document has been digitally
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Sunshine State
ONE CALL

Water and Sewer Details

UHAUL
Appleyard Drive
Tallahassee, Florida

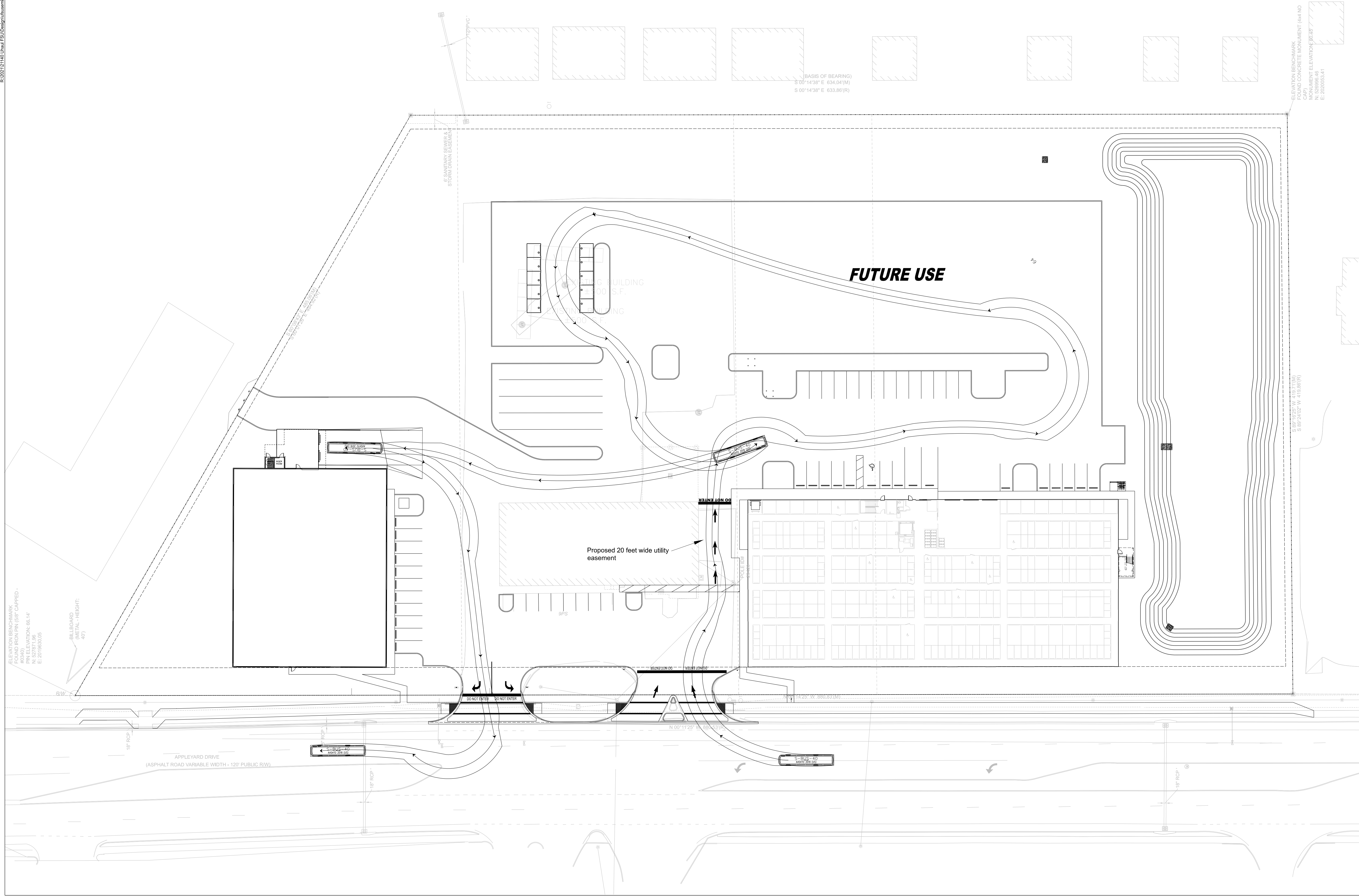
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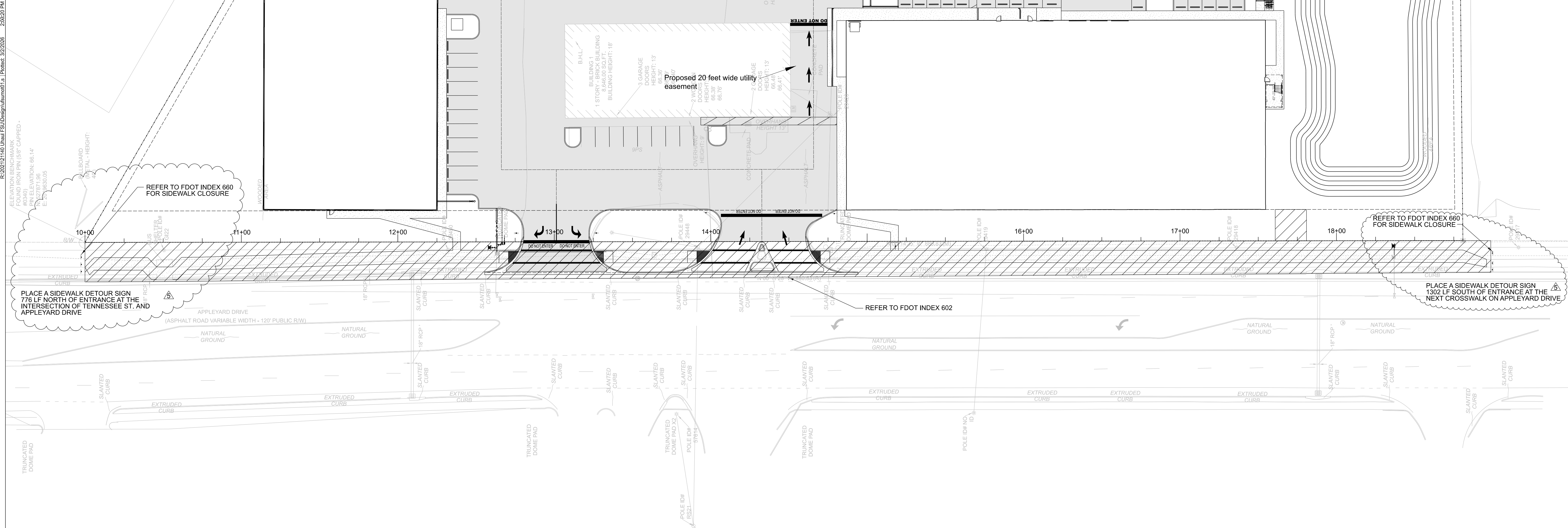
 **25**
YEARS

Civil Design & Consulting Engineers
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Scale:	N.T.S
Proj. Mgr:	B. Rohrer
Designer:	N/A
Drawn by:	N/A
Certificate of Auth:	729

Project No.:	2114
Date:	July 2, 202
Sheet No.:	10.





REV	DATE	BY	DESCRIPTION
1	7-20-2022	TSP220025	Tallahassee Comments BR
2	8-15-2022	TSP220025	Tallahassee Comments BR
3	12-15-2022	TSP220025	Tallahassee Comments BR
4	12-15-2022	TSP220025	Tallahassee Comments BR
5	6-17-2024	MOT PERMIT COMMENTS	

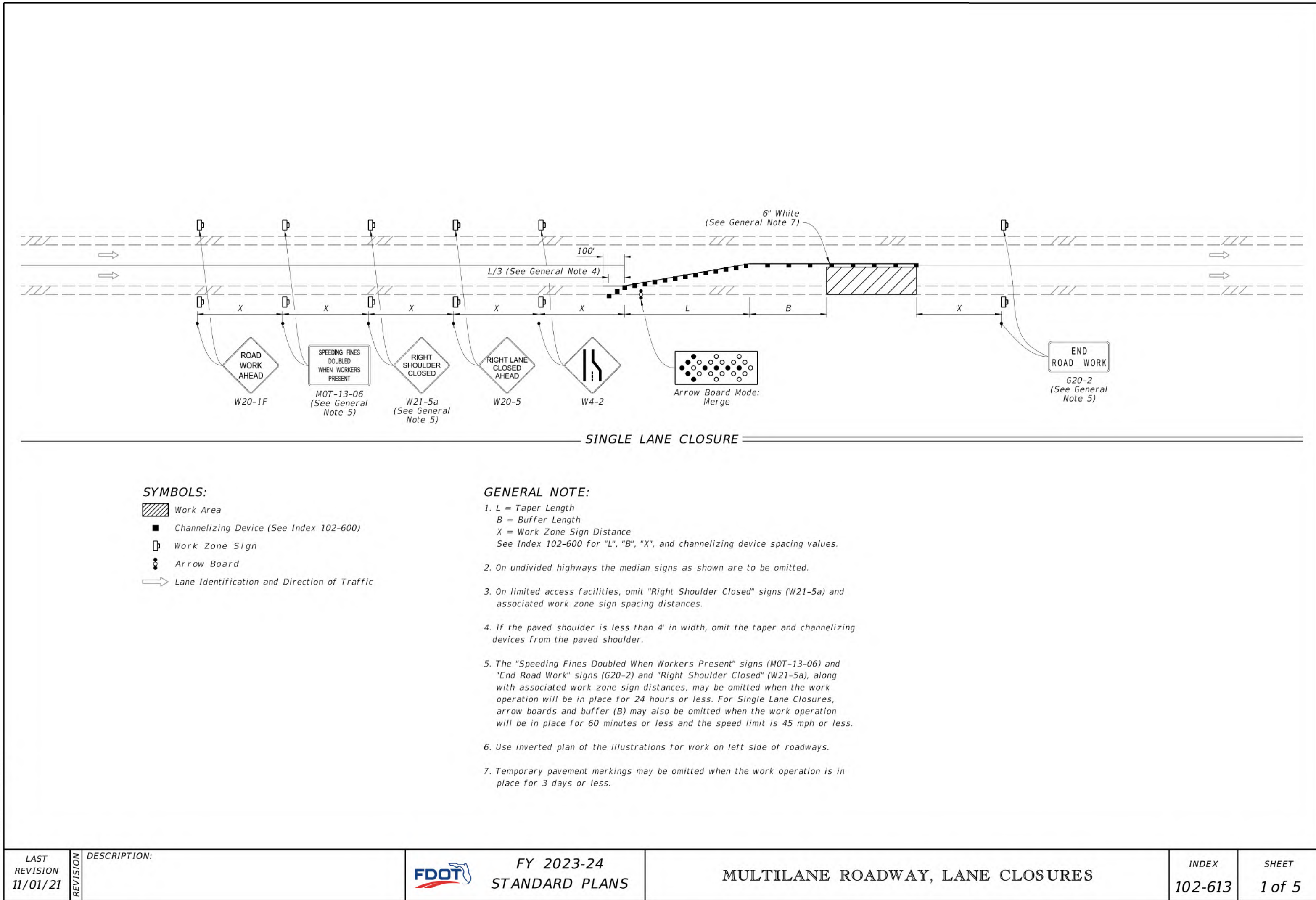
REV	DATE	BY	DESCRIPTION
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UHAUL
Appleyard Drive
Tallahassee, Florida

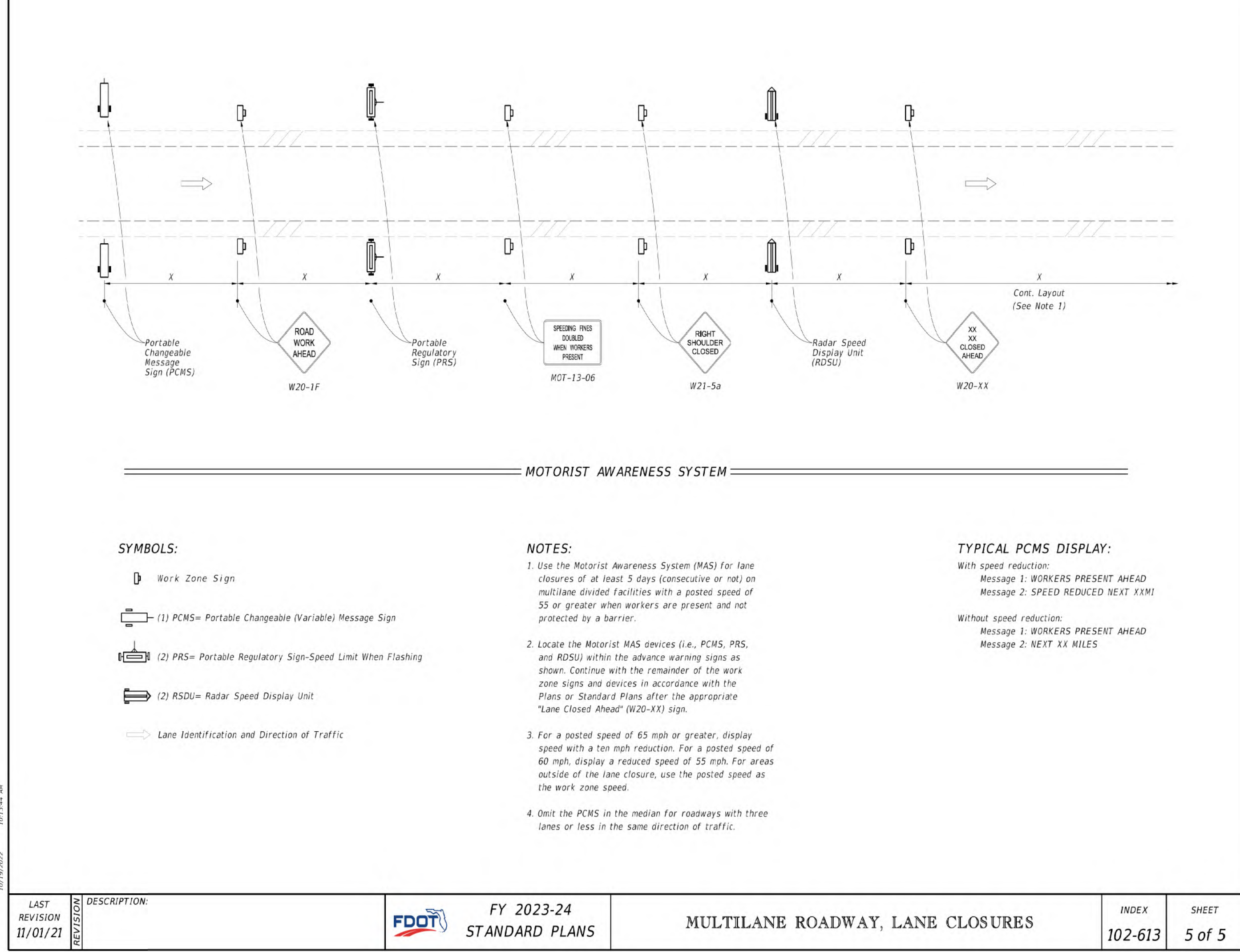
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Scale: 1"=30'
Proj. Mgr: B. Rohrer
Designer: B. Rohrer
Drawn by: R. Howard
Certificate of Auth: 7298

0 15 30
Project No.: 21140
Date: July 2, 2024
Sheet No.: 3

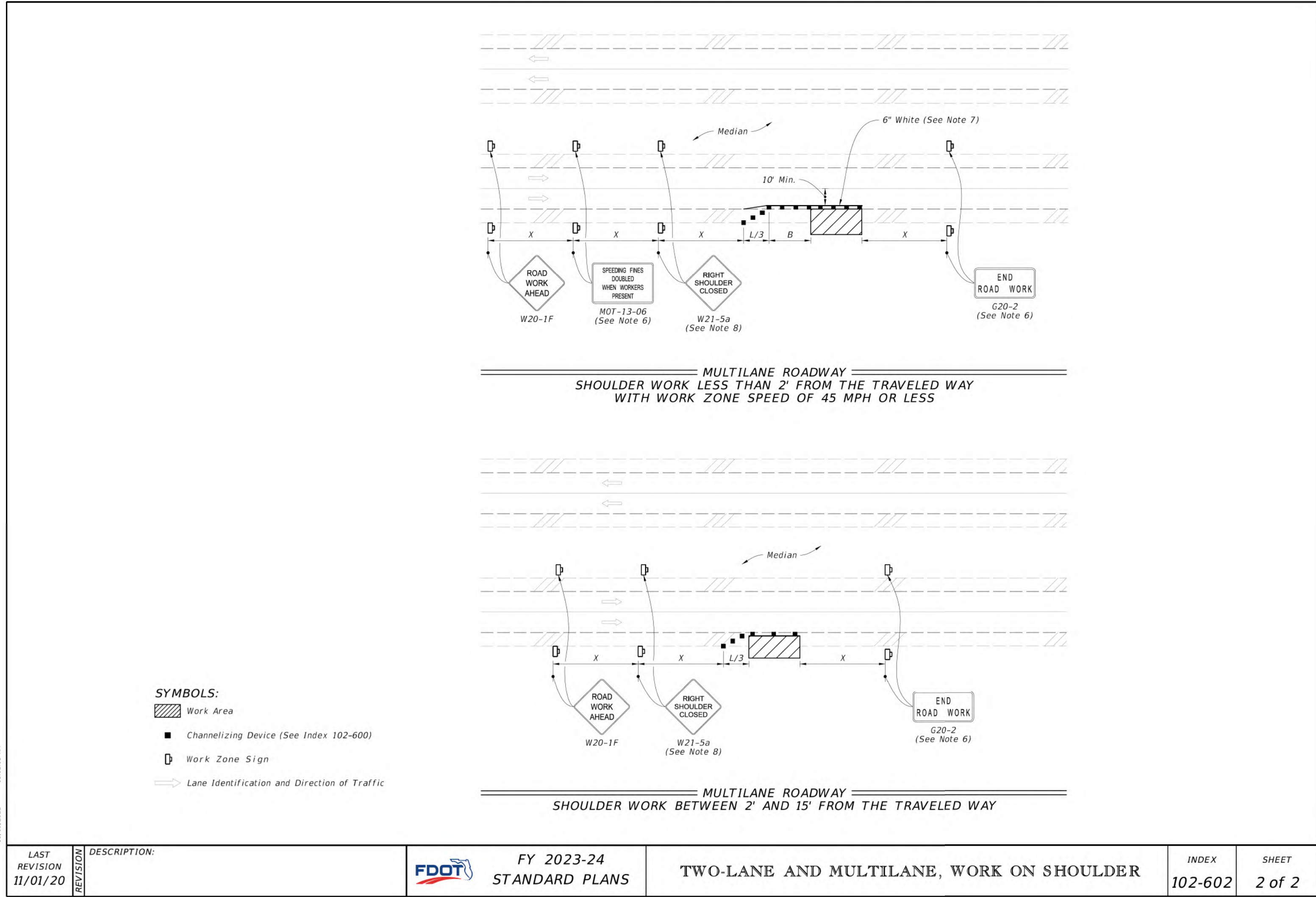


LAST REVISION	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	MULTILANE ROADWAY, LANE CLOSURES	INDEX	SHEET
11/01/21					102-613	1 of 5



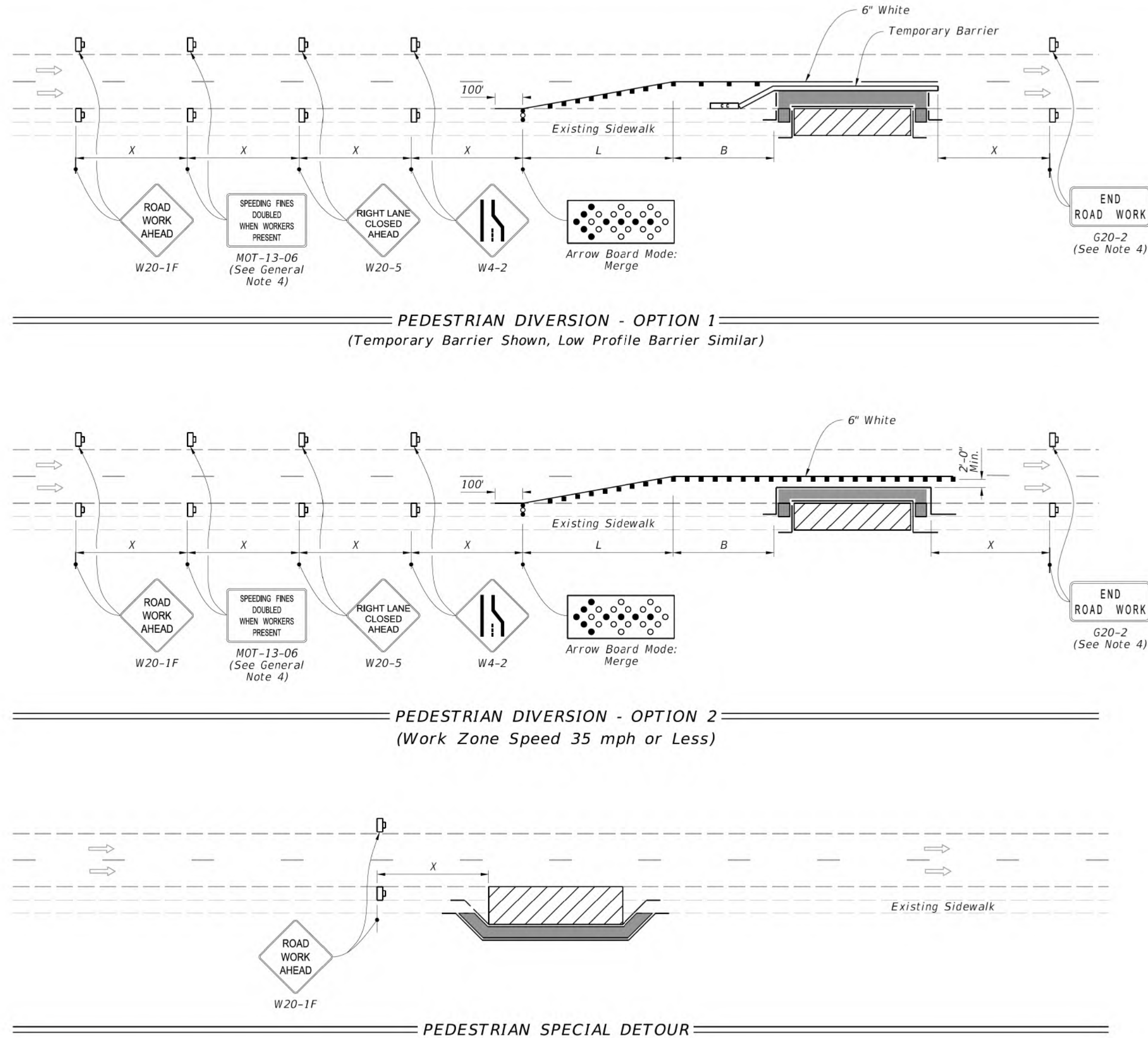
LAST REVISION	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	MULTILANE ROADWAY, LANE CLOSURES	INDEX	SHEET
11/01/21					102-613	5 of 5

10/19/2022 10:12:18 AM



- NOTES:**
1. L = Taper Length
B = Buffer Length
X = Work Zone Sign Distance
See Index 102-600 for "L", "B", "X", channelizing device spacing values.
 2. Provide a 5' wide temporary pedestrian way with a maximum cross-slope of 0.02, except where space restrictions warrant a minimum width of 4'. Provide a 5' x 5' passing space for temporary pedestrian ways less than 5' in width at intervals not to exceed 200'.
 3. When temporary pedestrian ways require curb ramps, meet the requirements of Index 522-002. Detectable warnings are not required for curb ramps diverting pedestrian traffic into a closed lane.
 4. The "Speeding Fines Doubled When Workers Present" signs (MOT-13-06) and "End Road Work" signs (G20-2), along with associated work zone sign distances, may be omitted when the work operation will be in place for 24 hours or less.
 5. Pedestrian Diversion Option 2 may only be used when called for in the Plans or as approved by an Engineer.

- SYMBOLS:**
- Work Area
 - Temporary Pedestrian Way
 - Channelizing Device (See Index 102-600)
 - Pedestrian Longitudinal Channelizing Device (LCD)
 - Work Zone Sign
 - Arrow Board
 - Crash Cushion
 - Lane Identification and Direction of Traffic



LAST REVISION	DESCRIPTION:	FY 2023-24 STANDARD PLANS	SIDWALK CLOSURE	INDEX	SHEET
11/01/21				102-660	2 of 2

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25
YEARS

Scale: N.T.S.
Proj. Mgr: B. Rohrer
Designer: B. Rohrer
Drawn by: R. Howard
Certificate of Auth: 7298

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Date: July 2, 2024
Sheet No.: 4

811
Call Before You Dig
Tallahassee
811-4-FLORIDA

12-15-2022 TSP220025 Tallahassee Comments BR
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12-15-2022 TSP220025 Tallahassee Comments BR
7-20-2022 TSP220025 Tallahassee Comments BR

1
Description
by
Signature Date
March 2, 2026

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