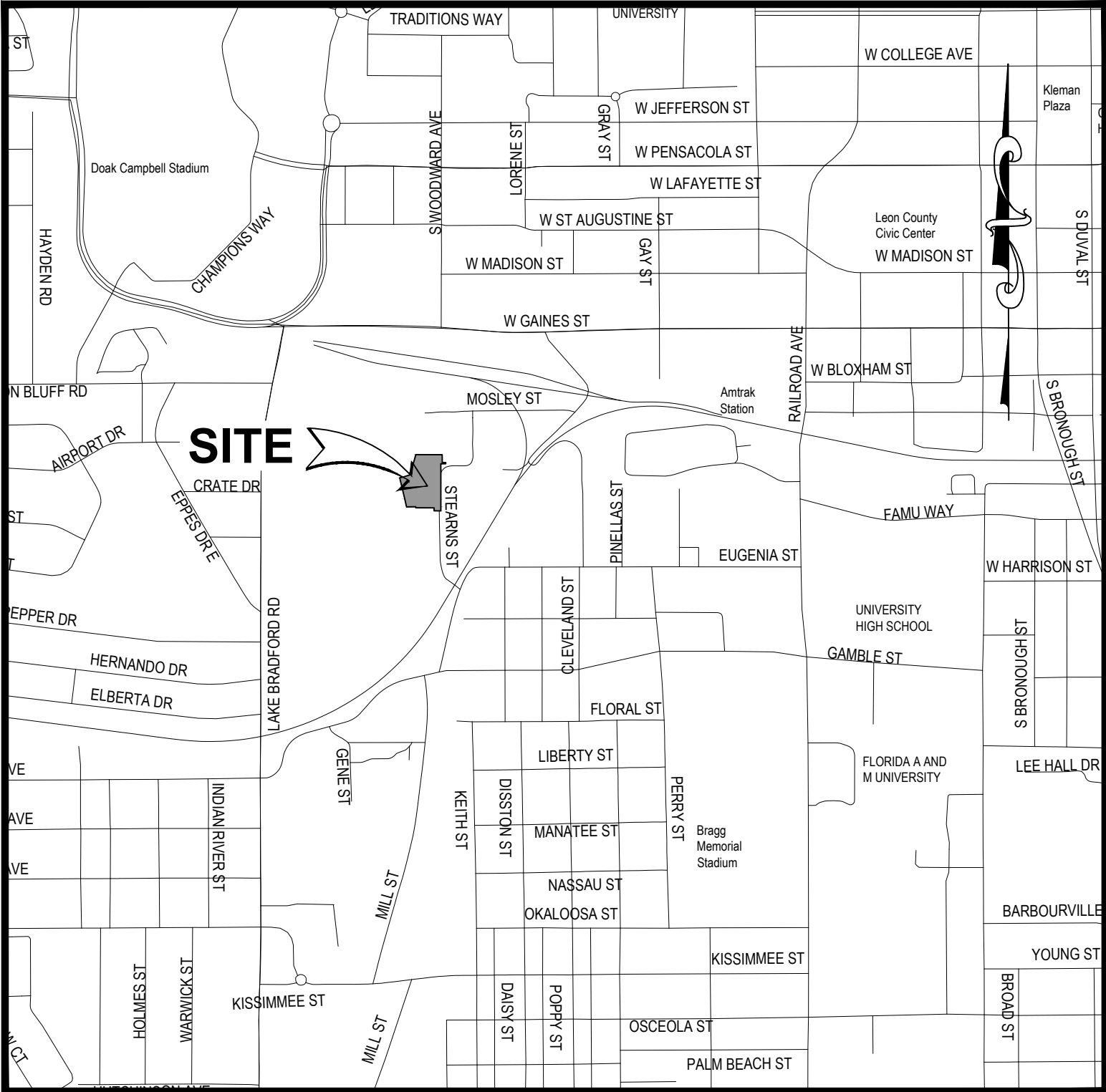


TYPE 'B' SITE PLAN FOR PROSPECT ROW CENTRAL

Sheet List Table	
Sheet Number	Sheet Title
1.0	COVER SHEET
2.0	EXISTING CONDITIONS MAP
2.1	EXISTING EASEMENT EXHIBIT
3.0	GEOMETRY PLAN
3.1	OVERALL CIRCULATION PLAN
4.0	OVERALL GRADING PLAN
4.1	GRADING PLAN
5.0	CONCEPT UTILITY PLAN
6.0	CONCEPT LANDSCAPE PLAN



LOCATION MA
SCALE: 1" = 1000'

PROJECT DATA	
TAX I.D. NO.	4102450000001, 4102200450000
PROJECT NAME:	PROSPECT ROW CENTRAL
CLIENT NAME:	ZIMMER DEVELOPMENT COMPANY 111 PRINCESS STREET WILMINGTON, NORTH CAROLINA
PREPARED BY:	MOORE BASS CONSULTING, INC. 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
ENGINEER OF RECORD:	TRAVIS DORN STATE OF FL, PROFESSIONAL ENGINEER, LICENSE No. 94272 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
SURVEYOR OF RECORD:	LARRY D. DAVIS REG FL SURVEYOR No. 5254 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678

ELEVATIONS ARE BASED ON N.A.V.D. 88 DATUM.

DESIGN STANDARDS:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH F.D.O.T. STANDARD PLANS AND SPECIFICATIONS FY2026-2027 AND THE CURRENT CITY OF TALLAHASSEE MINIMUM STANDARDS, REQUIREMENTS AND SUPPLEMENTAL SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FY2026-2027

F.D.O.T. STANDARDS PLANS FOR ROAD CONSTRUCTION, FY2026-2027

F.D.O.T. MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS (GREEN BOOK)

CITY OF TALLAHASSEE RIGHT-OF-WAY MANAGEMENT MANUAL, CURRENT EDITION

CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF
WATER AND WASTEWATER FACILITIES, CURRENT EDITION

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD),
CURRENT EDITION

PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), CURRENT EDITION

UTILITY PROVIDERS

WATER / SANITARY SEWER
CITY OF TALLAHASSEE
PHONE: (850) 694-8007

TELECOMMUNICATIONS
COMCAST CABLE
PHONE: (850) 574-4060

TELECOMMUNICATIONS
CENTURY LINK
PHONE: (850) 599-1444

GAS
CITY OF TALLAHASSEE
PHONE: (850) 891-5135

POWER
CITY OF TALLAHASSEE POWER -
DISTRIBUTION
PHONE: (850) 891-5019

TRAFFIC OPERATIONS
CITY OF TALLAHASSEE OPERATIONS
PHONE: (850) 891-2080



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Tallahassee, FL 32303
850.222.5678

PROSPECT ROW CENTRAL

ZIMMER DEVELOPMENT COMPANY
111 PRINCESS STREET
WILMINGTON, NORTH CAROLINA

PROJECT NAME

CLIENT NAME

REVISIONS

T2618.0007-COVER

DATE 05/22/2026

CONTRACT #	12818.0007
DRAWN BY	RWC/CES

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TALLAHASSEE, FL 32303

SEAL

Travis Dorn
State of Florida, Professional Engineer,
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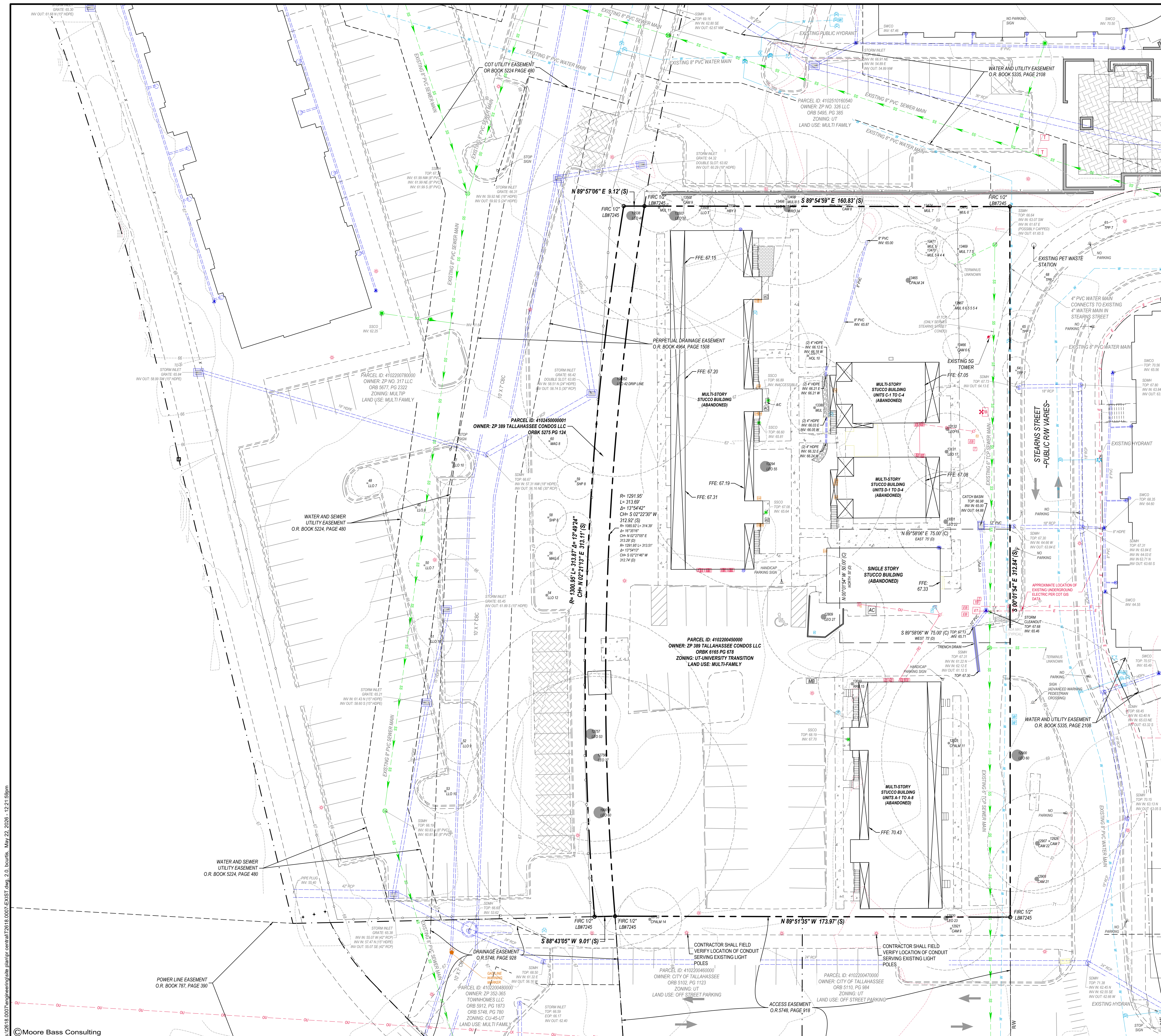
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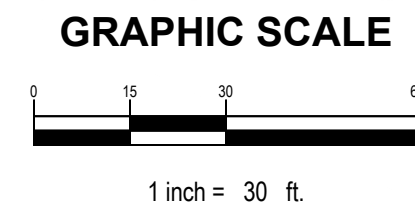
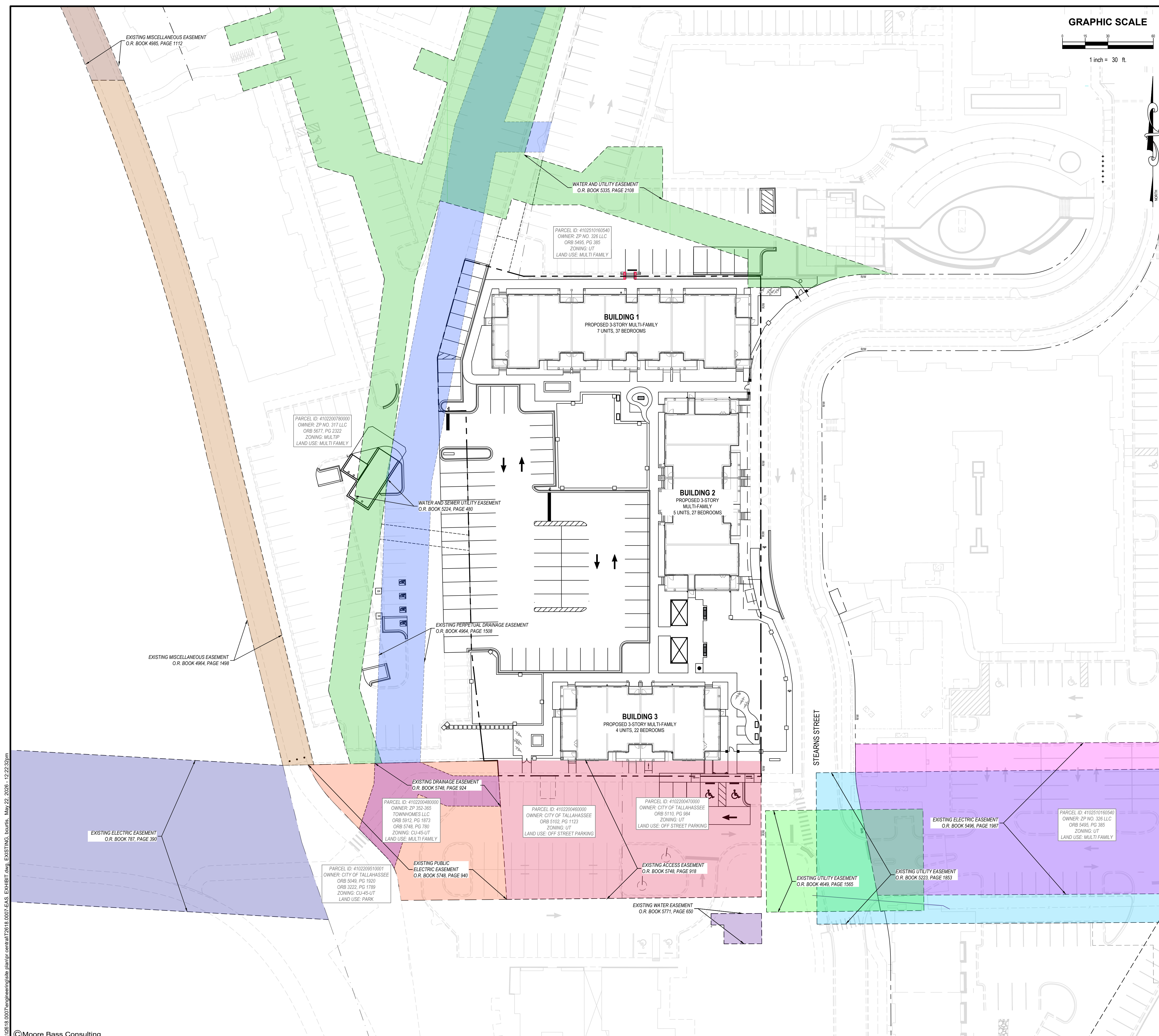
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COVER SHEET

SHEET

1.0





LEGEND

----- PROPERTY BOUNDARY

EXISTING WATER AND UTILITY EASEMENT
O.R. BOOK 3333, PAGE 2108

EXISTING PERPETUAL DRAINAGE EASEMENT
O.R. BOOK 4964, PAGE 1508

EXISTING DRAINAGE EASEMENT
O.R. BOOK 5748, PAGE 924

EXISTING ACCESS EASEMENT
O.R. BOOK 5748, PAGE 918

EXISTING ACCESS EASEMENT
O.R. BOOK 5748, PAGE 918

EXISTING PUBLIC ELECTRIC EASEMENT
O.R. BOOK 5748, PAGE 940

EXISTING ELECTRIC EASEMENT
O.R. BOOK 787, PAGE 390

EXISTING WATER EASEMENT
O.R. BOOK 5771, PAGE 650

EXISTING UTILITY EASEMENT
O.R. BOOK 4549, PAGE 1565

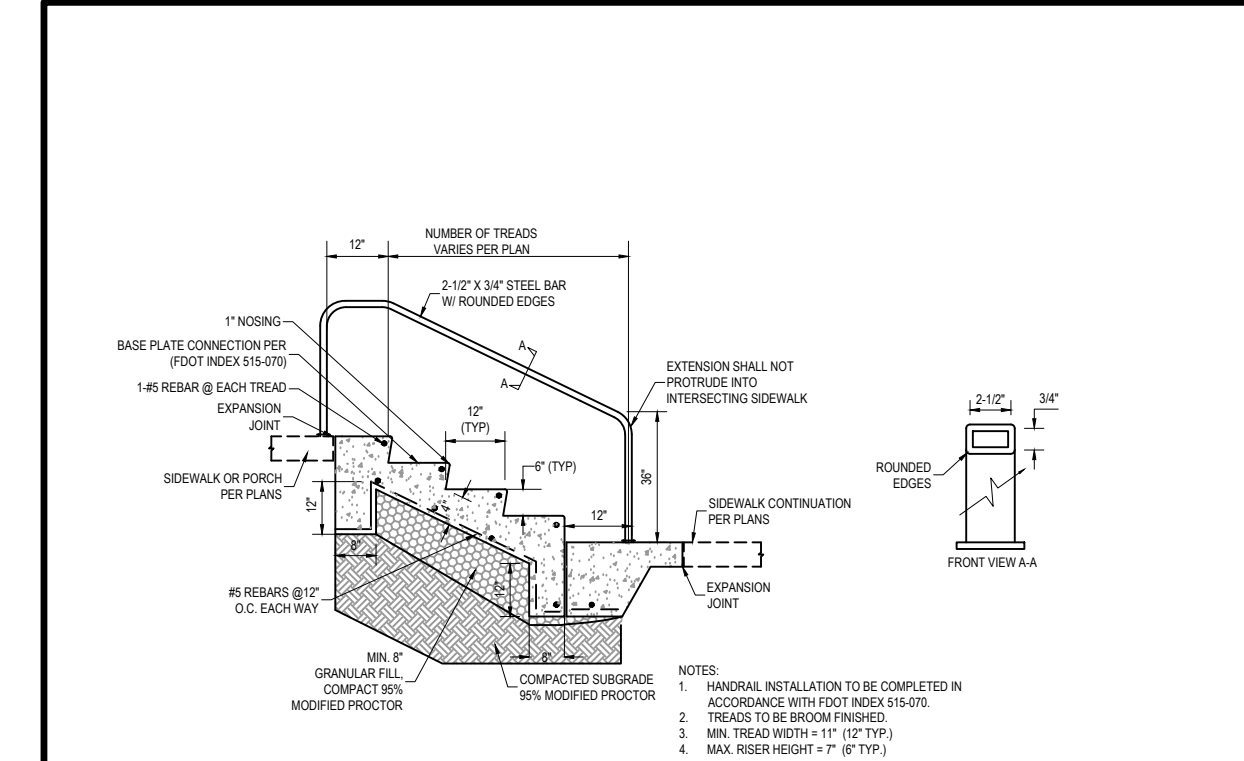
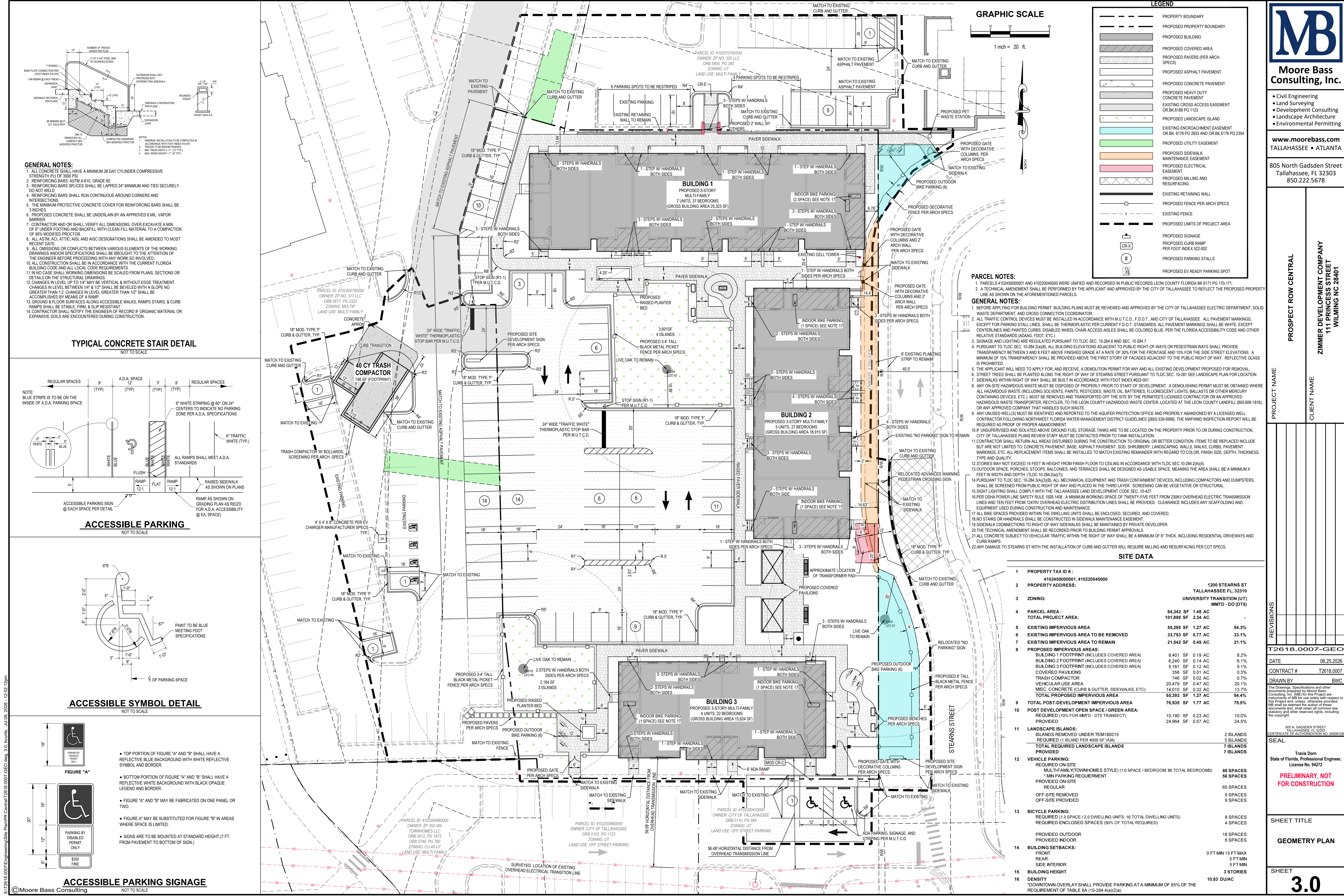
EXISTING UTILITY EASEMENT
O.R. BOOK 3223, PAGE 183

EXISTING ELECTRIC EASEMENT
O.R. BOOK 5496, PAGE 1987

EXISTING MISCELLANEOUS EASEMENT
O.R. BOOK 4964, PAGE 1498

EXISTING MISCELLANEOUS EASEMENT
O.R. BOOK 4985, PAGE 1112

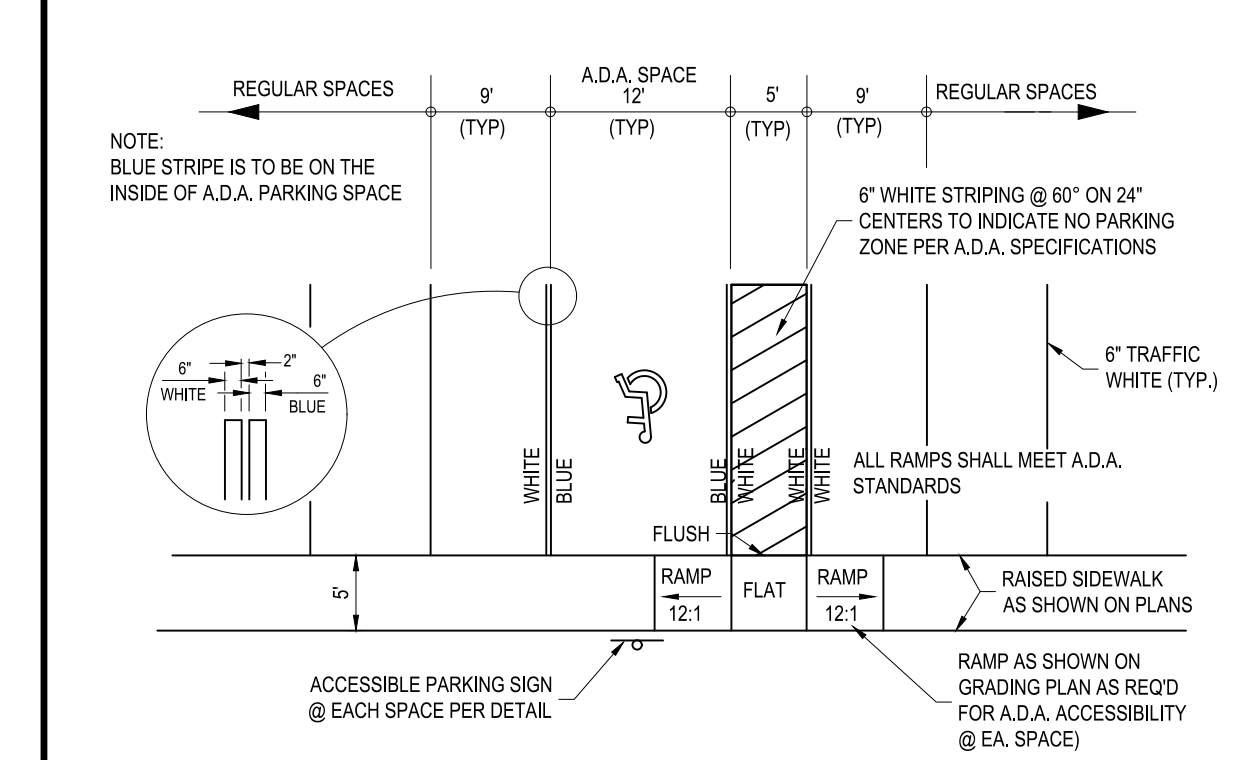
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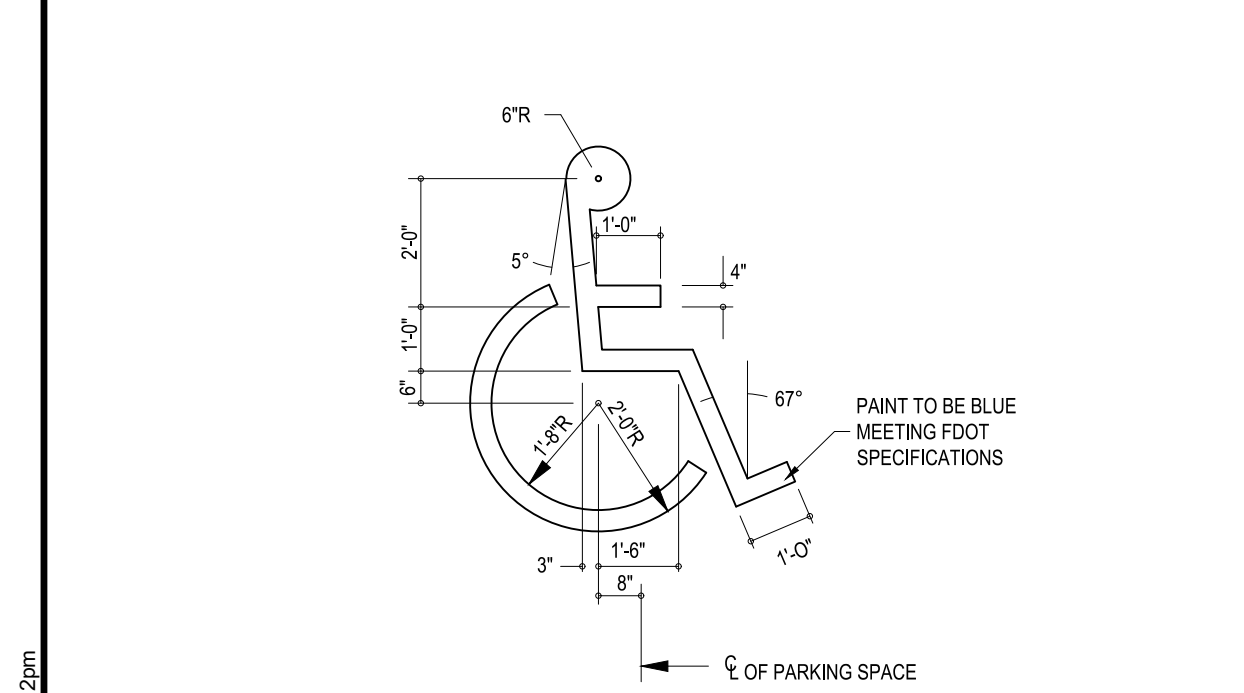
GENERAL NOTES:

1. ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY CYLINDER COMPRESSIVE STRENGTH (FC) OF 3000 PSI.
2. REINFORCING BARS: ASTM #615, GRADE 60.
3. REINFORCING BARS SPLICES SHALL BE LAPPED 24" MINIMUM AND TIED SECURELY. DO NOT WELD.
4. REINFORCING BARS SHALL RUN CONTINUOUS AROUND CORNERS AND INTERSECTIONS.
5. THE MINIMUM PROTECTIVE CONCRETE COVER FOR REINFORCING BARS SHALL BE 3 INCHES.
6. PROPOSED CONCRETE SHALL BE UNDERLAIN BY AN APPROVED 6 MIL. VAPOR BARRIER.
7. CONTRACTOR AND/OR SHALL VERIFY ALL DIMENSIONS. OVER EXCAVATE A MIN. OF 6" UNDER FOOTING AND BACKFILL WITH CLEAN FILL MATERIAL TO A COMPACTION OF 95% MODIFIED PROCTOR.
8. ALL ASTM, A.C.I., A.S.I., AND ALSO DESIGNATIONS SHALL BE AMENDED TO MOST RECENT DATE.
9. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT FLORIDA BUILDING CODE AND ALL LOCAL CODE REQUIREMENTS.
11. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE STRUCTURAL DRAWINGS.
12. CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL & WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE REVEALED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
13. GROUND & FLOOR SURFACES ALONG ACCESSIBLE WALKS, RAMP STAIRS, & CURB RAMPS SHALL BE STABLE, FIRM, & SLIP RESISTANT.
14. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IF ORGANIC MATERIAL OR EXPANSIVE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.

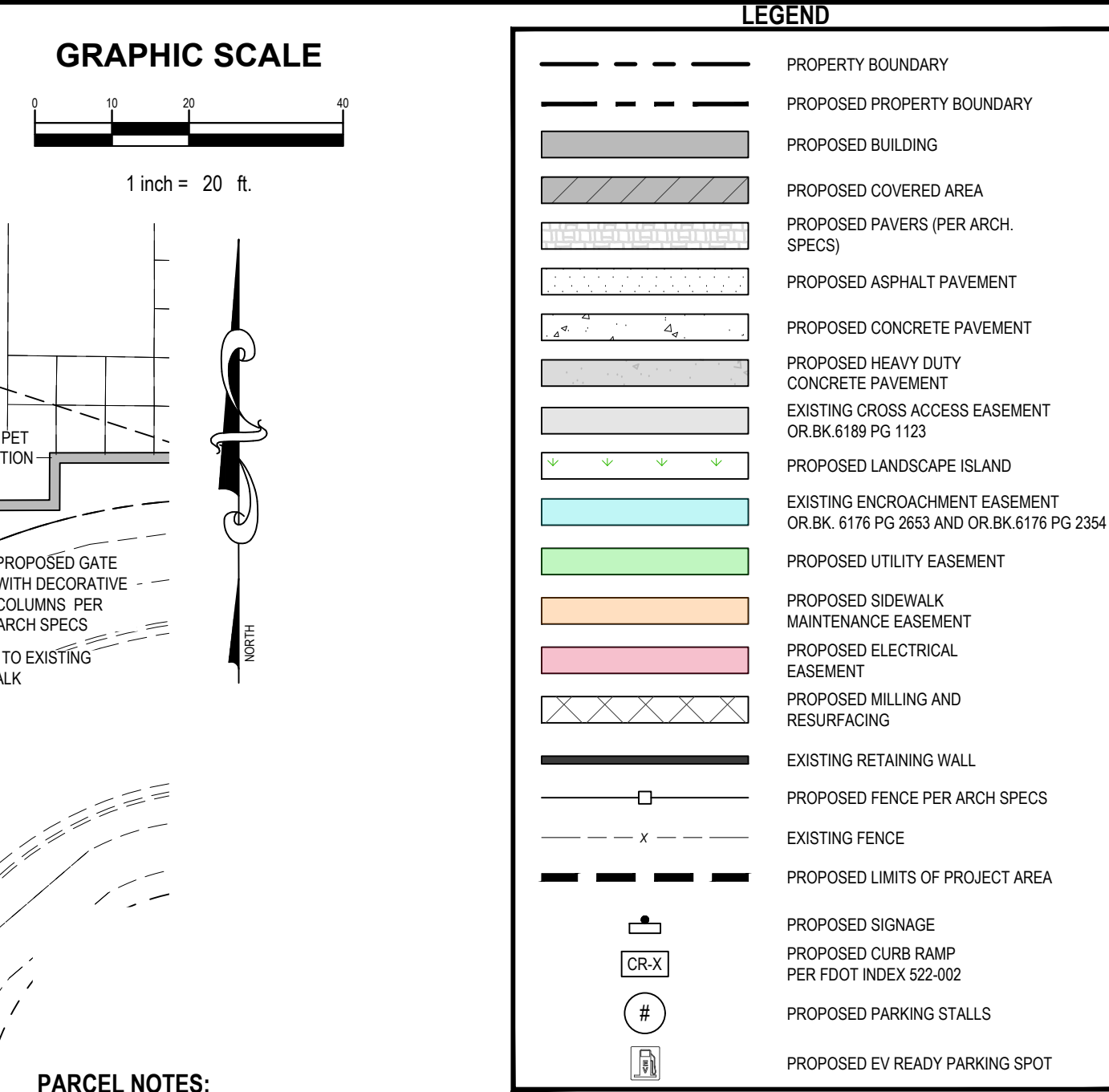
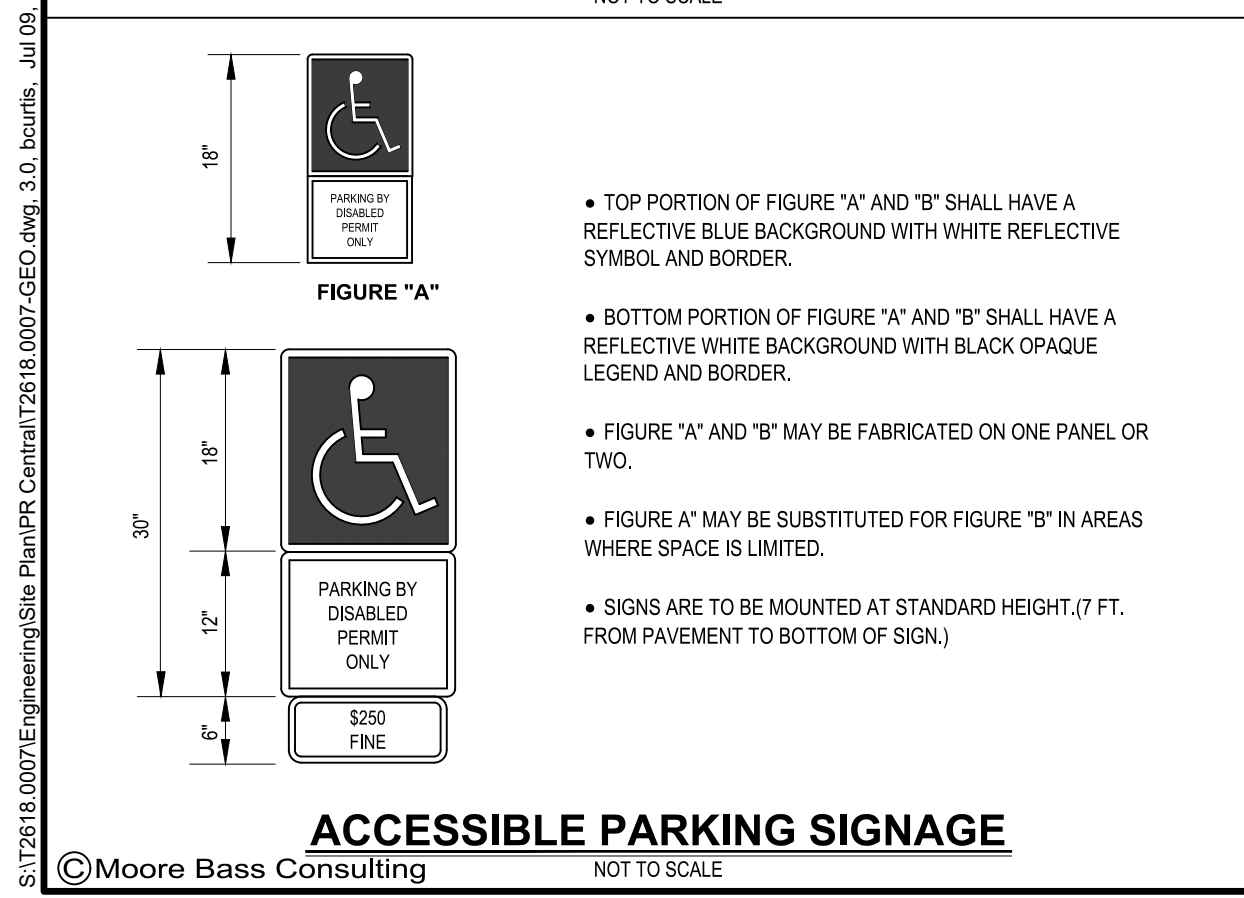
TYPICAL CONCRETE STAIR DETAIL
NOT TO SCALE



ACCESSIBLE PARKING
NOT TO SCALE



ACCESSIBLE SYMBOL DETAIL
NOT TO SCALE



PARCEL NOTES:

1. PARCELS 4102450000001 AND 4102200400000 WERE UNIFIED AND RECORDED IN PUBLIC RECORDS LEON COUNTY FLORIDA BK 6171 PG 170-171.

2. A TECHNICAL AMENDMENT SHALL BE PERFORMED BY THE APPLICANT AND APPROVED BY THE CITY OF TALLAHASSEE TO REFLECT THE PROPOSED PROPERTY LINE AS SHOWN ON THE FOREMENTIONED PARCELS.

GENERAL NOTES:

1. BEFORE APPLYING FOR BUILDING PERMIT, BUILDING PLANS MUST BE REVIEWED AND APPROVED BY THE CITY OF TALLAHASSEE ELECTRIC DEPARTMENT, SOLID WASTE DEPARTMENT, AND CROSS CONNECTION COORDINATOR.
2. ALL TRAFFIC CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH M.U.T.C.D., F.O.D.T., AND CITY OF TALLAHASSEE. ALL PAVEMENT MARKINGS, EXCEPT FOR PARKING STALL LINES, SHALL BE THERMOPLASTIC PER CURRENT F.O.D.T. STANDARDS. ALL PAVEMENT MARKINGS SHALL BE WHITE, EXCEPT CENTER LINES AND PAINTED CURBS. DISABLED WHEEL CHAIR ACCESSIBLE SHALL BE COLORED BLUE. PER THE FLORIDA ACCESSIBILITY CODE AND OTHER RELATIVE STANDARDS (ADAAG, FDOT, ETC.).
3. SIGNAGE AND LIGHTING ARE REGULATED PURSUANT TO T.L.D.C. SEC. 10-284.6 AND SEC. 10-284.7.
4. PURSUANT TO T.L.D.C. SEC. 10-284.2(a)(8), ALL BUILDING ELEVATIONS ADJACENT TO PUBLIC RIGHT-OF-WAYS OR PEDESTRIAN ACCESS SHALL PROVIDE TRANSPARENCY BETWEEN 3' AND 4' FEET ABOVE FINISHED GRADE AT A RATE OF 30% FOR THE FRONTAGE AND 15% FOR THE SIDE STREET ELEVATIONS. A MINIMUM OF 15% TRANSPARENCY SHALL BE PROVIDED ABOVE THE FIRST STORY OF FACADES ADJACENT TO THE PUBLIC RIGHT OF WAY. REFLECTIVE GLASS IS PROHIBITED.
5. THE APPLICANT WILL NEED TO APPLY FOR, AND RECEIVE, A DEMOLITION PERMIT FOR ANY AND ALL EXISTING DEVELOPMENT PROPOSED FOR REMOVAL.
6. STREET TREES SHALL BE PLANTED ALONG THE RIGHT OF WAY OF STEARNS STREET PURSUANT TO T.L.D.C. SEC. 10-281 SEE LANDSCAPE PLAN FOR LOCATION.
7. SIDEWALKS WITHIN RIGHT OF WAY SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX #522-001.
8. ANY ON-SITE HAZARDOUS WASTE MUST BE DISPOSED OF PROPERLY PRIOR TO START OF DEVELOPMENT. A DEMOLISHING PERMIT MUST BE OBTAINED WHERE ALL HAZARDOUS WASTE (INCLUDING SOLVENTS, PAINTS, PESTICIDES, WASTE OIL, BATTERIES, FLUORESCENT LIGHTS, BALLASTS OR OTHER MERCURY CONTAINING DEVICES, ETC.) MUST BE REMOVED AND TRANSPORTED OFF THE SITE BY THE PERMITTEE'S LICENSED CONTRACTOR OR AN APPROVED HAZARDOUS WASTE TRANSPORTER, RECYCLER, TO THE LEON COUNTY HAZARDOUS WASTE CENTER, LOCATED AT THE LEON COUNTY LANDFILL (850-606-1818), OR ANY APPROVED COMPANY THAT HANDLES SUCH WASTE.
9. ANY UNUSED WELLS MUST BE IDENTIFIED AND REPORTED TO THE AQUIFER PROTECTION OFFICE AND PROPERLY ABANDONED BY A LICENSED WELL CONTRACTOR FOLLOWING NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT GUIDELINES (850) 538-9999. THE NWFWMD INSPECTION REPORT WILL BE REQUIRED AS PROOF OF PROPER ABANDONMENT.
10. IF UNSUPERVISED AND ISOLATED ABOVE GROUND FUEL STORAGE TANKS ARE TO BE LOCATED ON THE PROPERTY PRIOR TO OR DURING CONSTRUCTION, CITY OF TALLAHASSEE PLANS REVIEW STAFF MUST BE CONTACTED PRIOR TO TANK INSTALLATION.
11. CONTRACTOR SHALL RETURN ALL AREAS DISTURBED DURING THE CONSTRUCTION TO ORIGINAL OR BETTER CONDITION. ITEMS TO BE REPLACED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE PAVEMENT, BASE, ASPHALT PAVEMENT, SOIL, SHRUBBERY, LANDSCAPING, WALLS, WALKS, CURBS, PAVEMENT MARKINGS, ETC. ALL REPLACEMENT ITEMS SHALL BE INSTALLED TO MATCH EXISTING REMAINDER WITH REGARD TO COLOR, FINISH, SIZE, DEPTH, THICKNESS, TYPE AND QUALITY.
12. STORES MAY NOT EXCEED 14 FEET IN HEIGHT FROM FINISH FLOOR TO CEILING IN ACCORDANCE WITH T.L.D.C. SEC. 10-284.2(a)(4).
13. OUTDOOR SPACE, PORCHES, STOPS, BALCONIES, AND TERRACES SHALL BE DESIGNED AS USABLE SPACE, MEANING THE AREA SHALL BE A MINIMUM 4 FEET IN WIDTH AND DEPTH (T.L.D.C. 10-284.2(a)(7)).
14. PURSUANT TO T.L.D.C. SEC. 10-284.3(a)(3)(B), ALL MECHANICAL EQUIPMENT AND TRASH CONTAINMENT DEVICES, INCLUDING COMPACTORS AND DUMPSTERS, SHALL BE SCREENED FROM PUBLIC RIGHT OF WAY AND PLACED IN THE THIRD LAYER. SCREENING CAN BE VEGETATIVE OR STRUCTURAL.
15. NIGHT LIGHTING SHALL COMPLY WITH THE TALLAHASSEE LAND DEVELOPMENT CODE SEC. 10-427.
16. PER OSHA POWER LINE SAFETY RULE 1926.1408, A MINIMUM WORKING SPACE OF TWENTY-FIVE FEET FROM 230KV OVERHEAD ELECTRIC TRANSMISSION LINES AND TEN FEET FROM 12470V OVERHEAD ELECTRIC DISTRIBUTION LINES SHALL BE PROVIDED. CLEARANCE INCLUDES ANY SCAFFOLDING AND EQUIPMENT USED DURING CONSTRUCTION AND MAINTENANCE.
17. ALL BIKE SPACES PROVIDED WITHIN THE DWELLING UNITS SHALL BE ENCLOSED, SECURED, AND COVERED.
18. NO STAIRS OR HANDRAILS SHALL BE CONSTRUCTED IN SIDEWALK MAINTENANCE EASEMENT.
19. SIDEWALK CONNECTIONS TO RIGHT-OF-WAY SIDEWALKS SHALL BE MAINTAINED BY PRIVATE DEVELOPER.
20. THE TECHNICAL AMENDMENT SHALL BE RECORDED PRIOR TO BUILDING PERMIT APPROVALS.
21. ALL CONCRETE SUBJECT TO VEHICULAR TRAFFIC WITHIN THE RIGHT OF WAY SHALL BE A MINIMUM OF 6" THICK, INCLUDING RESIDENTIAL DRIVEWAYS AND CURB RAMPS.
22. ANY DAMAGE TO STEARNS ST WITH THE INSTALLATION OF CURB AND GUTTER WILL REQUIRE MILLING AND RESURFACING PER DOT SPECS.

SITE DATA

1	PROPERTY TAX ID #:	4102450000001, 4102200400000	1200 STEARNS ST TALLAHASSEE FL, 32310
2	PROPERTY ADDRESS:		UNIVERSITY TRANSITION (UT) MMTD - DO (DTS)
3	ZONING:		
4	PARCEL AREA:	64,342 SF 1.48 AC	
5	TOTAL PROJECT AREA:	101,899 SF 2.34 AC	
6	EXISTING IMPERVIOUS AREA:	56,295 SF 1.27 AC	54.3%
7	EXISTING IMPERVIOUS AREA TO BE REMOVED:	33,753 SF 0.77 AC	33.1%
8	EXISTING IMPERVIOUS AREA TO REMAIN:	21,542 SF 0.49 AC	21.1%
9	PROPOSED IMPERVIOUS AREAS:		
10	LANDSCAPE ISLANDS:		
11	LANDSCAPE ISLANDS:		
12	VEHICLE PARKING:		
13	BICYCLE PARKING:		
14	BUILDING SETBACKS:		
15	BUILDING HEIGHT:		
16	DENSITY:		

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Tallahassee, FL 32303
850.222.5678

PROJECT NAME

PROSPECT ROW CENTRAL

CLIENT NAME

ZIMMER DEVELOPMENT COMPANY
111 PRINCING STREET
WILMING NC 28401

REVISIONS

DATE	06.25.2026
CONTRACT #	T2618.0007
DRAWN BY	BWC

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TALLAHASSEE, FL 32303
CERTIFICATE OF AUTHORIZATION NO. 00009108

SEAL

Travis Dorn
State of Florida, Professional Engineer,
License No. 94272

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SHEET TITLE

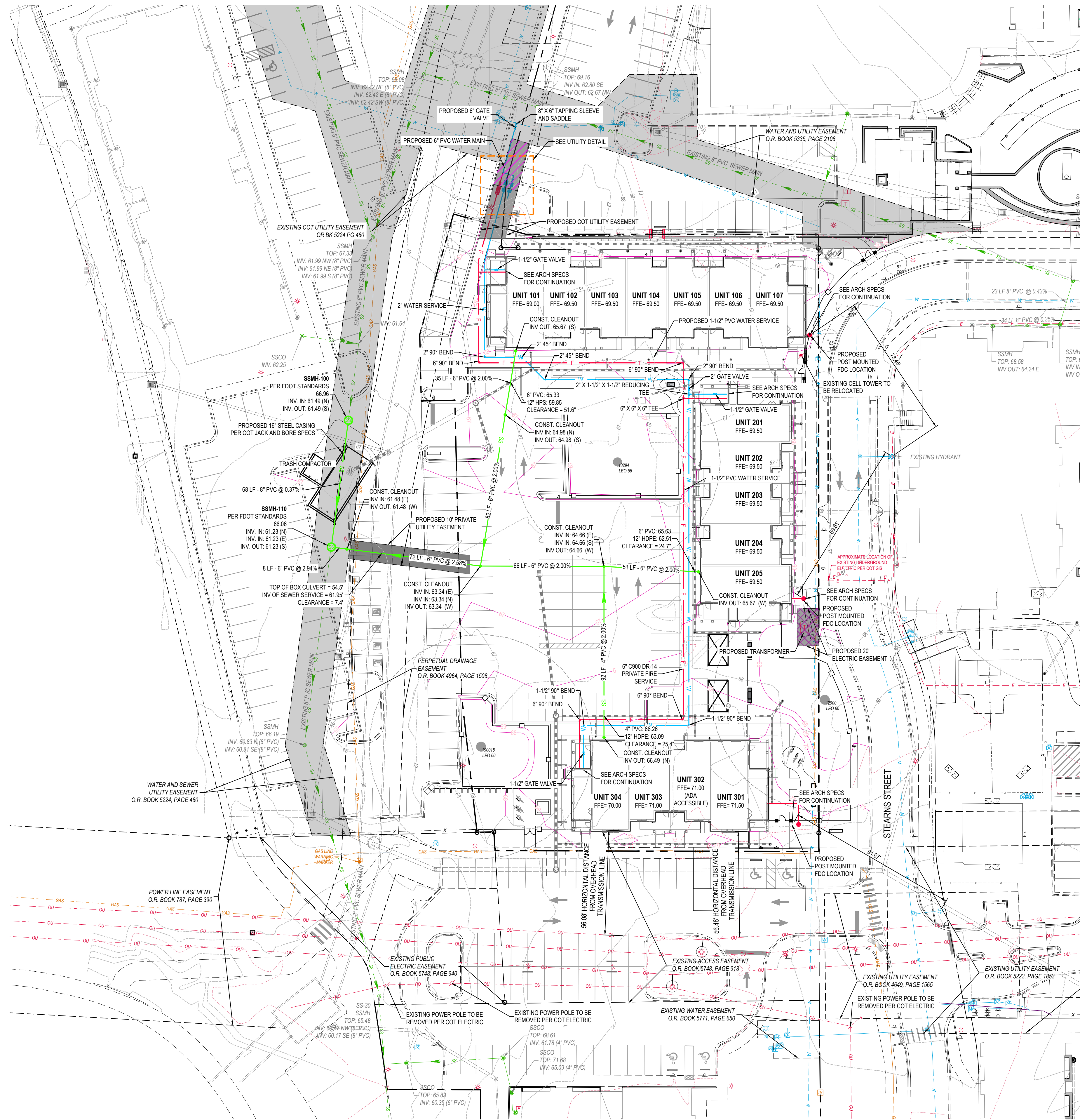
GEOMETRY PLAN

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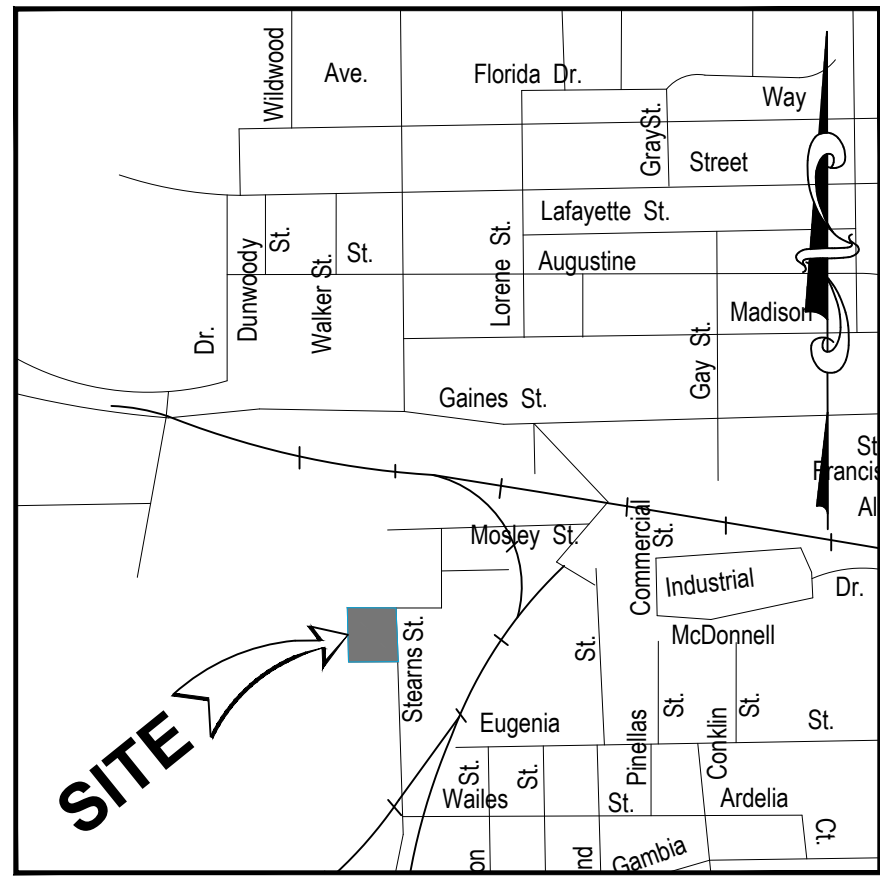
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GRAPHIC SCALE

1 inch = 30 ft.

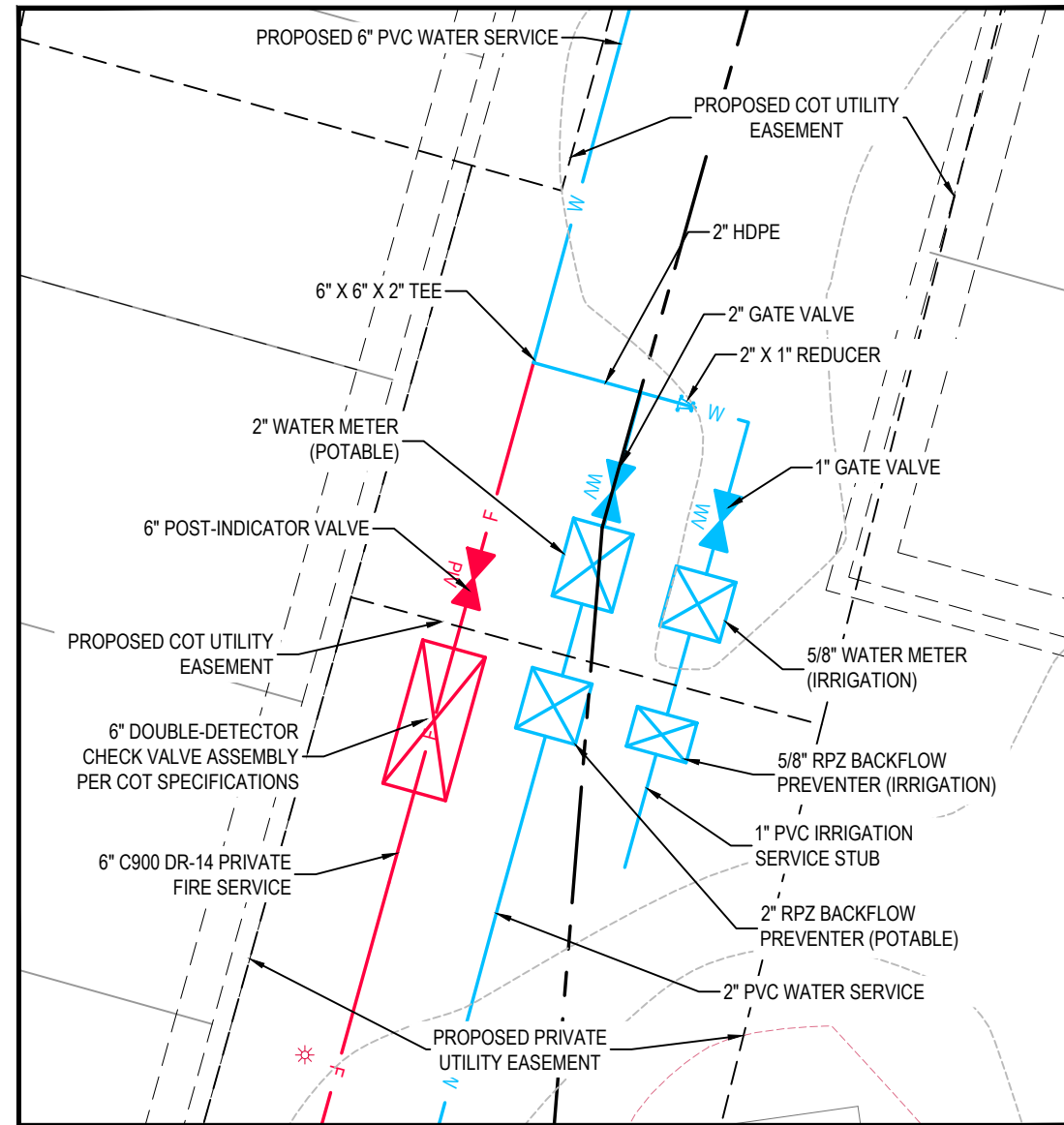


VICINITY MAP

SCALE: 1" = 100'

LEGEND

---	EXISTING PROPERTY BOUNDARY
---	PROPOSED PROPERTY BOUNDARY
---	PROPOSED CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SEWER LINE (PER SURVEY)
---	PROPOSED SEWER LINE
---	PROPOSED FIRE LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UTILITY EASEMENT
---	PROPOSED PRIVATE UTILITY EASEMENT
---	PROPOSED COT UTILITY EASEMENT
---	PROPOSED 20' ELECTRIC EASEMENT



UTILITY DETAIL

SCALE: 1" = 5'

GENERAL NOTES:

- CONTRACTOR TO INSTALL FIBERGLASS COVERS ON ALL BACKFLOW PREVENTERS PER C.O.T. SPECS.
- MAINTAIN 3" MIN. COVER ON ALL WATER LINES.
- SEE ARCHITECTURAL PLANS FOR CONTINUATION OF WATER, FIRE AND SEWER SERVICE INTO BUILDING.
- ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE PER C.O.T. TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION, CURRENT EDITION.
- ALL WATER METERS AND BACKFLOW PREVENTERS SHALL BE LOCATED IN GREEN AREAS.
- NO LANDSCAPING MATERIAL OTHER THAN SOIL AND MULCH SHALL BE PLACED WITHIN 2' OF WATER METERS.
- MANIFOLDS TO BE LOCATED A MINIMUM OF 12" BELOW FINISH GRADE.
- ALL MATERIAL FOR METER MANIFOLDS MUST BE MADE IN THE U.S.A. (DOMESTIC) NO SUBSTITUTIONS.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER IS EIGHTEEN INCHES (18").
- IRRIGATION BACKFLOW PREVENTERS MUST BE REDUCED PRESSURE ZONE (RPZ) TYPE DEVICES.
- ALL BACKFLOW PREVENTERS SHALL BE OUTSIDE OF THE PROPOSED COT UTILITY EASEMENT.
- BUILDINGS SHALL BE FULLY SPRINKLERED AND MONITORED PER SECTION 903.2017 FBC-8.
- THE CITY OF TALLAHASSEE WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY ON-SITE STORMWATER INFRASTRUCTURE.
- CONSTRUCTION EQUIPMENT SHALL BE 25' MIN AWAY FROM TRANSMISSION LINES IN ALL DIRECTIONS.
- A SEPARATE PLUMBING PERMIT IS REQUIRED FOR NEW WATER SEWER SERVICES.

FIRE DEPARTMENT NOTES:

- DEPTH OF FIRE MAIN PIPING TO TOP OF PIPE:
 - 30" MINIMUM UNDER DRIVING SURFACES
 - 30" MINIMUM UNDER NON-DRIVING SURFACES
- FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT.
- FIRE HYDRANTS SHALL BE A MINIMUM OF 24" ABOVE GRADE MEASURED TO THE STEAMER NOZZLE.
- STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE.
- HYDRANT FLOW TEST IS REQUIRED TO BE WITNESSED BY THE TALLAHASSEE FIRE DEPARTMENT.
- CLEARANCE OF 3' SHALL BE MAINTAINED TO THE FRONT, SIDES AND REAR OF ALL FIRE APPLIANCES (i.e., HYDRANTS, BACKFLOW PREVENTERS, POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS).
- A CLEAR SPACE OF NOT LESS THAN 9' SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2".
- ALL FIRE SERVICE PIPING SHALL MEET NFPA 13R CODE.
- A SEPARATE FIRE PERMIT IS REQUIRED FOR NEW FIRE SERVICE LINES.

MAINTENANCE-OF-TRAFFIC NOTES:

- CONTRACTOR SHALL SUBMIT MAINTENANCE-OF-TRAFFIC PLAN TO THE COT TRAFFIC MOBILITY GROUP FOR APPROVAL PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY COT TRAFFIC MOBILITY GROUP TWO WEEKS PRIOR TO ANY WORK IN THE RIGHT-OF-WAY.
- CONTRACTOR SHALL ENSURE EXISTING DRIVEWAYS ALONG STEARNS STREET REMAIN UNOBSTRUCTED THROUGHOUT CONSTRUCTION.



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Tallahassee, FL 32303
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PROJECT NAME
PROSPECT ROW CENTRAL

CLIENT NAME

ZIMMER DEVELOPMENT COMPANY
111 PRINCESS STREET
WILMINGTON, NORTH CAROLINA

REVISIONS

T2618.0007-UTILITY

DATE 05/22/2026

CONTRACT # T2618.0007

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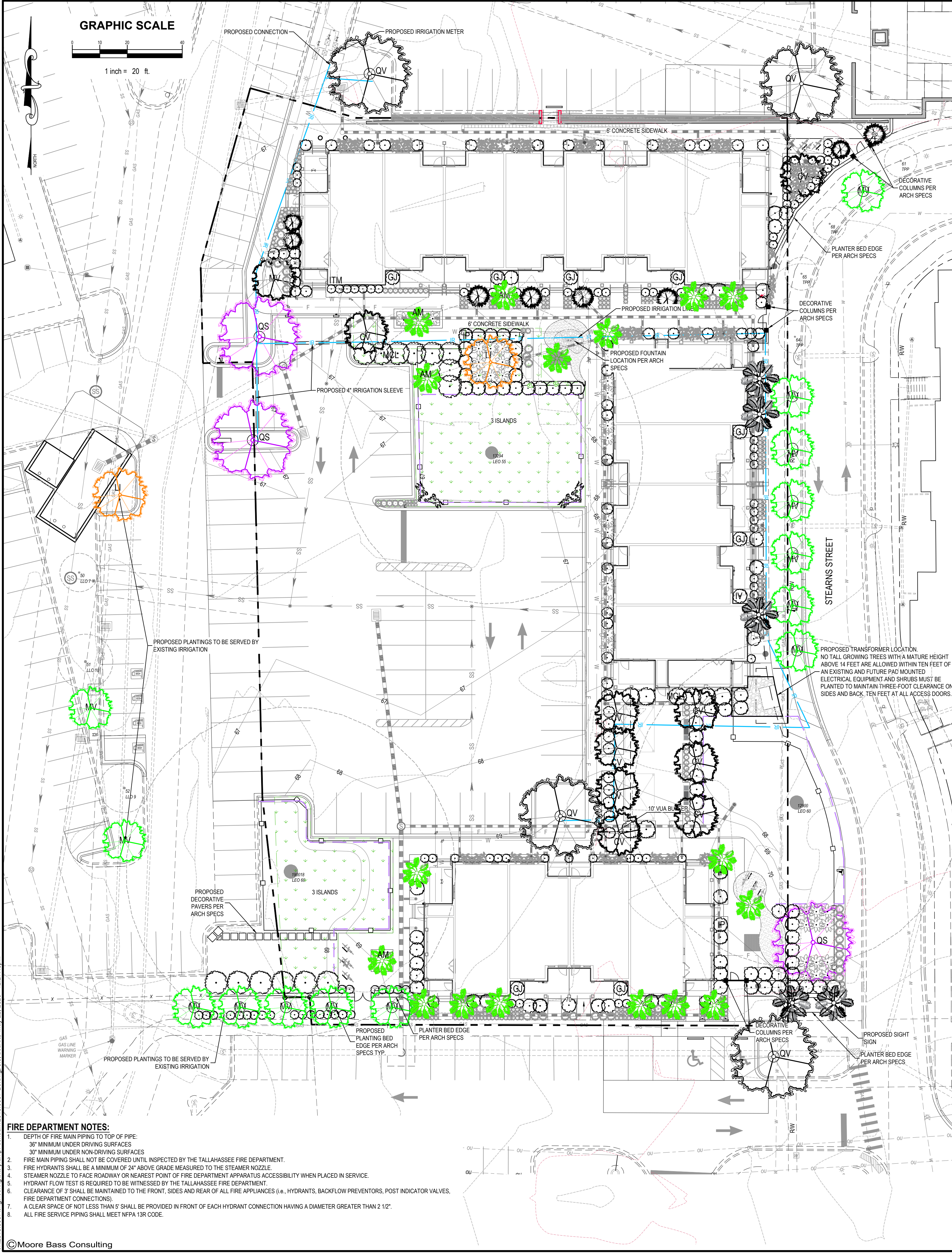
PRELIMINARY, NOT
FOR CONSTRUCTION

SHEET TITLE

CONCEPT UTILITY
PLAN

SHEET

5.0



TREE CREDITS (Summary)

*See Tree List for Individual Tree Information

Grand Total	0
Preservation Credits	0

TREE DEBITS (Summary)

*See Tree List for Individual Tree Information

Grand Total	186
Debits	186

REPLANT FORMULA (DEBITS - CREDITS)* 186

REFORESTATION FORMULA (Preservation Credits + Replants = or > 40 = Developed Area)

Required Trees Credits Per Acre	Acres of Developed Area	Required Tree Credits
40	1.31	= 52

TOTAL TREE CREDITS TO BE PLANTED (Reforestation Trees + Replant Trees) 186

PROPOSED TREE CREDITS (PER LANDSCAPE PLAN)

*Tree trunk diameter measurement shall be rounded off to the nearest inch

Diameter of Tree Planted (inches DBH)*	Category A Tree Credits	Category A Tree Planted	Calculate d Credits for Category A Trees Planted	Category B Tree Credits	Category B Tree Planted	Calculate d Credits for Category B Trees Planted	Category C Tree Credits	Category C Tree Planted	Calculate d Credits for Category C Trees Planted	Category D Tree Credits	Category D Tree Planted	Calculate d Credits for Category D Trees Planted
7-12	3	0	0	6	0	0	8	0	0	16	0	0
4-6	2	0	0	5	0	0	6	21	126	8	0	0
2-3	1	2	2	3	0	0	5	0	0	6	10	60
		Planted Totals:	2		Planted Totals:	0		Planted Totals:	126		Planted Totals:	60
Grand Total		Planted Credits:	188									

LANDSCAPING AND IRRIGATION NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER AS DESCRIBED IN "GRADES AND STANDARDS FOR NURSERY PLANTS," FIFTH EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE.
- QUANTITIES ON LANDSCAPE PLAN ARE MINIMUM ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS OWN QUANTITY TAKE-OFF, AND SHALL PROVIDE ALL PLANT MATERIAL REQUIRED TO FILL PLANT BED AREA AT SPACING ON PLANT SCHEDULE.
- INSTALL PINE STRAW MULCH WITHIN ALL LANDSCAPE AREAS AT A MINIMUM OF 2" COMPACTED THICKNESS. THE MULCH LAYER AROUND NEWLY PLANTED TREES SHALL BE TWO TO THREE TIMES THE DIAMETER OF THE CROWN SPREAD, AT A MINIMUM OF 3" COMPACTED THICKNESS. MULCH ESTABLISHED TREES AT LEAST TO THE DRIPLINE.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM. ALL IRRIGATION LINES SHALL BE INSTALLED SO AS TO NOT IMPACT THE CRITICAL PROTECTION ZONE OF PROTECTED TREES USED AS CREDIT. THESE PROTECTED TREES SHALL BE CLEARLY MARKED IN THE FIELD AND ANY NECESSARY IRRIGATION DISTURBANCE SHALL BE APPROVED BY THE CONSULTING LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY CITY OF TALLAHASSEE'S ENVIRONMENTAL INSPECTOR IN ADVANCE PRIOR TO ANY POTENTIAL DISTURBANCE.
- THE PLANTING VOLUME FOR ONE OR MORE TREES SHALL BE A MINIMUM OF 1200 CUBIC FEET WITH A MINIMUM WIDTH OF 12 FEET AND A DEPTH OF THREE FEET.
- THE INTERIOR PLANTING AREAS SHALL BE EXCAVATED TO A DEPTH OF THREE FEET BELOW THE FINISHED GRADE OF THE PLANTING AREA AND REPLACED WITH A NON-COMPACTABLE "FRIABLE" TOPSOIL.
- THE OWNER ACCEPTS THE RESPONSIBILITY OF MAINTAINING ALL LANDSCAPING IN PERPETUITY, TO INCLUDE PROPER WATER, FERTILIZATION, WEEDING, PRUNING, PEST CONTROL, REPLACEMENT OR REPLANTING AS NEEDED, AND TRIMMING THE CANOPY OF STREET TREES TO A HEIGHT OF 8' ABOVE THE EDGE OF PAVEMENT TO PROVIDE A CLEAR SIGHT WINDOW.
- STREET TREES WITHIN SIGHT DISTANCE WINDOW MUST MEET THE VERTICAL CLEAR SIGHT LIMITS, AT TIME OF PLANTING, IN ACCORDANCE WITH FOOT DESIGN MANUAL 212.11.6.1.
- IF THE LANDSCAPER CAN NOT OBTAIN PLANT MATERIALS THAT MEET THE MINIMUM PLANT SIZE REQUIREMENTS, AN ALTERNATIVE SPECIES THAT DOES MEET THE MINIMUM PLANT SIZE REQUIREMENTS MAY BE SUBSTITUTED WITH THE APPROVAL OF THE CITY OF TALLAHASSEE ENVIRONMENTAL INSPECTOR.
- IRRIGATION, AS SHOWN, IS DIAGRAMMATIC IN NATURE. IRRIGATION SHALL BE FIELD ADJUSTED TO ENSURE ALL LANDSCAPE AREAS ARE COVERED.
- IRRIGATION CONTRACTOR SHALL PROVIDE IRRIGATION PLAN THAT INCLUDES LINE SIZE, ZONE DELINEATION AND HEAD LOCATIONS PRIOR TO IRRIGATION INSTALLATION.
- TREES AND SHRUBS SHALL NOT BE PLANTED CLOSER THAN THREE FEET FROM THE EDGE OF ANY IMPERVIOUS AREA.
- WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY OR A 2' UB24-2 ROOT BARRIER SHALL BE INSTALLED. THE NORTHERN STREET TREE PLANTING STRIP SHALL HAVE A 2' DEEP ROOT BARRIER.
- ALL PLANT MATERIALS ON PRIVATE PROPERTY SHALL BE GUARANTEED WITH A WARRANTY FOR A PERIOD OF ONE YEAR. ALL DISTURBED AREAS WITHIN CONSTRUCTION WORK ZONES ARE TO BE GRASSED EXCEPT FOR AREAS THAT ARE LANDSCAPED, PAVED, OR BELOW NORMAL WATER ELEVATION. EXISTING GRASSED AREAS SHALL BE REPLANTED WITH SOD OF THE SAME GRASS TYPE AS EXISTING, UNLESS OTHERWISE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. CENTPEDE SOD WILL BE USED FOR DISTURBED AREAS NOT CURRENTLY GRASSED. REINFORCEMENT MAT SHALL BE INSTALLED BENEATH SOD PLACED ON SLOPES OF 1V:2H OR STEEPER, AND THE SOD SHALL BE STAPLED. ALL LANDSCAPE AREAS AND BUFFER STRIPS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM. THE IRRIGATION METHODS USED SHALL BE INSTALLED SO AS NOT TO IMPACT THE CRITICAL PROTECTION ZONE (CPZ) OF EXISTING TREES. NO TRENCHING OR EXCAVATION SHALL BE ALLOWED WITHIN THE CPZ OF PROTECTED TREES UNLESS NOTED ON THE PLANS.
- ALL DISTURBED AREAS NOT PAVED, SODDED OR OTHERWISE LANDSCAPED SHALL BE SEEDED, FERTILIZED AND MULCHED PER FOOT SPECIFICATIONS, SECTION 570. SEEDING RATE AND MIX SHALL COMPLY WITH THE SEEDING RATE TABLE OF FOOT STANDARD PLANS INDEX 4670-010.
- NO TALL GROWING TREES WITH A MATURE HEIGHT ABOVE 14 FEET ARE ALLOWED WITHIN TEN FEET OF AN EXISTING AND FUTURE PAD MOUNTED ELECTRICAL EQUIPMENT AND SHRUBS MUST BE PLANTED TO MAINTAIN THREE FOOT OF CLEARANCE ON SIDES AND BACK, TEN FEET AT ALL ACCESS DOORS.
- ALL OF THE SHRUB AND PERENNIAL SPECIES SELECTIONS ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AT THE TIME OF CONSTRUCTION.

LEGEND

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
	QS 3 - CAT. C	SHUMARD OAK	QUERCUS SHUMARDII	10'-12' HT. X 5'-6" SPR., 4" CAL.
	QV 4 - CAT. C	LIVE OAK	QUERCUS VIRGINIANA	10'-12' HT. X 5'-6" SPR., 4" CAL.
	LI 2 - CAT. A	NATCHEZ CREPE MYRTLE	LAGERSTROEMIA INDICA 'NATCHEZ'	10'-12' HT. X 5'-6" SPR., 2" CAL.
	MV 14 - CAT. C	SWEETBAY MAGNOLIA	MAGNOLIA VIRGINIANA	10'-12' HT. X 5'-6" SPR., 4" CAL.
	CV 10 - CAT. D	WHITE FRINGETREE	CHIONANTHUS VIRGINICUS	10'-12' HT. X 5'-6" SPR., 2" CAL.
	SP 5	SABLE PALM	SABLE PALMETTO	10'-12' HT. X 5'-6" SPR., 3" CAL.
	AM 17	CHRISTMAS PALM	ADONIDIA MERILLII	10'-12' HT. X 5'-6" SPR., 3" CAL.
TOTAL TREES PLANTED:		55		

LEGEND

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
SHRUBS:				
	9	DWARF PALMETTO	SABAL MINOR	15 GALLON
	22	WAX MYRTLE	MYRICA CERIFERA 'LITTLE BULL'	15 GALLON
	9	ANISE TREE	ILICUM FLORIDANUM	7 GALLON
	103	GARDENIA	GARDENIA JASMINOIDES 'AUGUST BEAUTY'	5 GALLON
	58	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	5 GALLON
	98	SWEETSPIRE	ITEA VIRGINICA 'LITTLE HENRY'	3 GALLON
	32	MUHLEY GRASS	MUHLENBERGIA CAPILLARIS	3 GALLON
	425	FOXTAIL	PENNISETUM ALOPECUROIDES	1 GALLON
	41	COONTIE	ZAMIZ INTEGRIFOLIA	1 GALLON
	172	AUTUMN FERN	DYOPTERIS MARGINALIS	1 GALLON
	4	HONEYSUCKLE	LONICERA SEMPERVIRENS 'MAJOR WHEELER'	3 GALLON
	42	DWARF FAKAHATCHEE	TRIPSACUM FLORIDANUM	1 GALLON

TOTAL PLANTED: 831

FIRE DEPARTMENT NOTES:

- DEPTH OF FIRE MAIN PIPING TO TOP OF PIPE:
 - 36" MINIMUM UNDER DRIVING SURFACES
 - 30" MINIMUM UNDER NON-DRIVING SURFACES
- FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT.
- FIRE HYDRANTS SHALL BE A MINIMUM OF 24" ABOVE GRADE MEASURED TO THE STEAMER NOZZLE.
- STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE.
- HYDRANT FLOW TEST IS REQUIRED TO BE WITNESSED BY THE TALLAHASSEE FIRE DEPARTMENT.
- CLEARANCE OF 3' SHALL BE MAINTAINED TO THE FRONT, SIDES AND REAR OF ALL FIRE APPLIANCES (i.e., HYDRANTS, BACKFLOW PREVENTORS, POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS).
- A CLEAR SPACE OF NOT LESS THAN 5' SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 2 1/2".
- ALL FIRE SERVICE PIPING SHALL MEET NFPA 13R CODE.

Moore Bass Consulting, Inc.

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TALLAHASSEE • ATLANTA

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PROJECT NAME

PROSPECT ROW CENTRAL

CLIENT NAME

ZIMMER DEVELOPMENT COMPANY
111 PRINCESS STREET
WILMINGTON, NORTH CAROLINA

REVISIONS

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T2618.0007-LS

DATE 05/22/2026

CONTRACT # T2618.0007

DRAWN BY BW/CES

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TALLAHASSEE, FL 32303
CERTIFICATE OF AUTHORIZATION NO. 00006108

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SHEET TITLE

CONCEPT LANDSCAPE PLAN

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