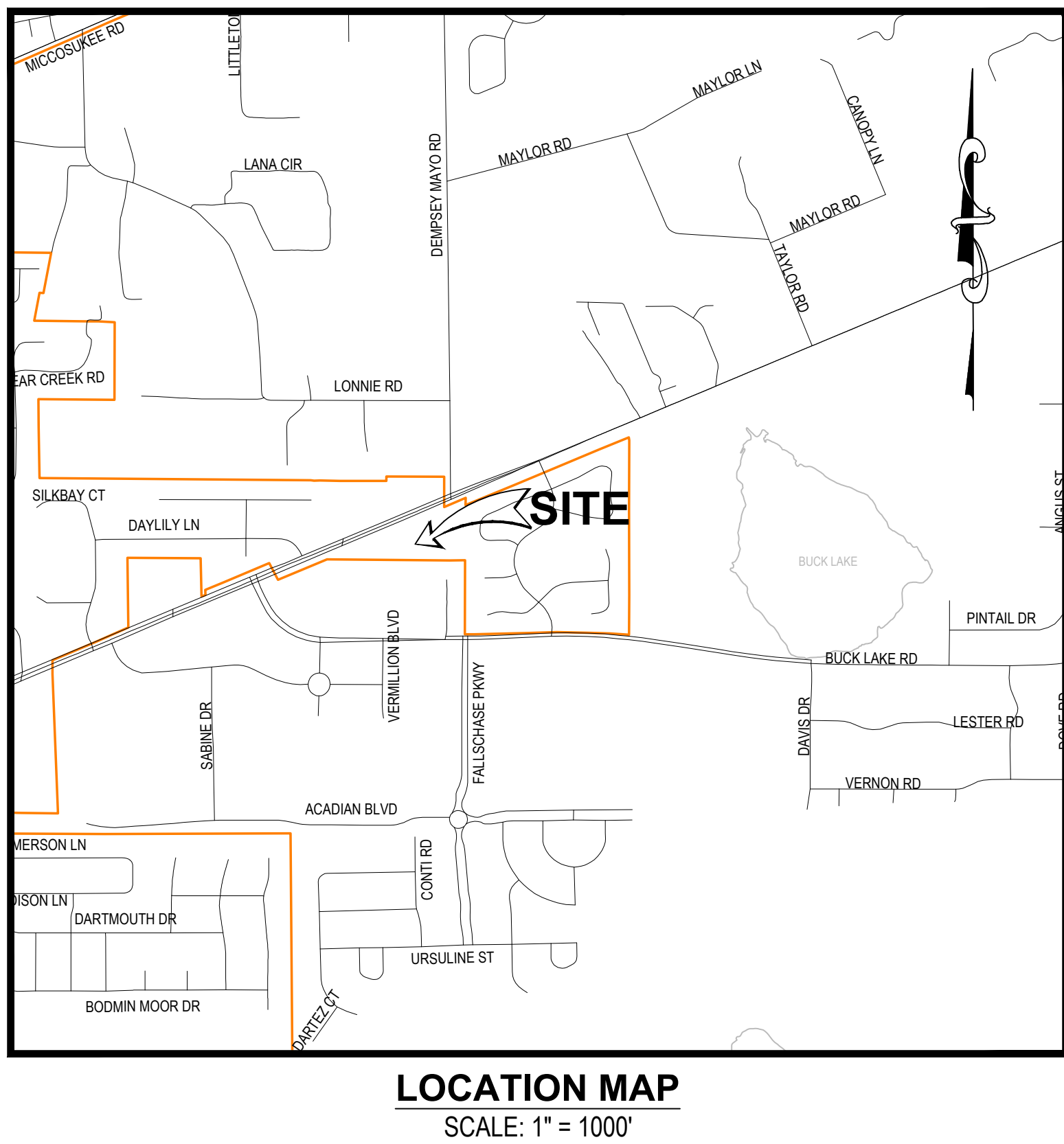


TYPE 'B' SITE PLAN
FOR
ARBOR CROSSING PHASE II

Sheet List Table	
Sheet Number	Sheet Title
1.0	COVER
2.0	EXISTING CONDITIONS
3.0	GEOMETRY PLAN
3.1	SIGHT DISTANCE AND CIRCULATION PLAN
4.0	GRADING PLAN
4.1	SWMF A DETAIL SHEET
4.2	SWMF B DETAIL SHEET
5.0	CONCEPT UTILITY PLAN
6.0	CONSTRUCTION DETAILS
LS-1.0	CONCEPTUAL LANDSCAPE PLAN



PROJECT DATA	
TAX I.D. NO.	112251 G2110, 112251 H2220
PROJECT NAME:	ARBOR CROSSING PHASE II
CLIENT NAME:	ARBOR PROPERTIES, INC. 4910 N. MONROE STREET TALLAHASSEE, FL 32303
PREPARED BY:	MOORE BASS CONSULTING, INC. 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
ENGINEER OF RECORD:	BEN B. HOOD STATE OF FL, PROFESSIONAL ENGINEER, LICENSE No. 69167 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678
SURVEYOR OF RECORD:	LARRY D. DAVIS REG FL SURVEYOR No. 5254 805 NORTH GADSDEN STREET TALLAHASSEE, FLORIDA 32303 (850) 222-5678

ELEVATIONS ARE BASED ON N.A.V.D. 88 DATUM.

DESIGN STANDARDS:

ALL DESIGN AND CONSTRUCTION SHALL COMPLY WITH F.D.O.T. STANDARD PLANS AND SPECIFICATIONS FY2025-2026 AND THE CURRENT CITY OF TALLAHASSEE MINIMUM STANDARDS, REQUIREMENTS AND SUPPLEMENTAL SPECIFICATIONS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, FY2025-2026

F.D.O.T. STANDARDS PLANS FOR ROAD CONSTRUCTION, FY2025-2026

F.D.O.T. MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS (GREEN BOOK)

CITY OF TALLAHASSEE RIGHT-OF-WAY MANAGEMENT MANUAL, CURRENT EDITION

CITY OF TALLAHASSEE STANDARD SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES, CURRENT EDITION

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), CURRENT EDITION

PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), CURRENT EDITION

UTILITY PROVIDERS

WATER / SANITARY SEWER
CITY OF TALLAHASSEE
PHONE: (850) 694-8007

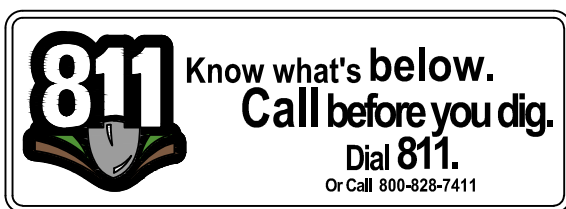
TELECOMMUNICATIONS
COMCAST CABLE
PHONE: (850) 574-4060

TELECOMMUNICATIONS
CENTURY LINK
PHONE: (850) 599-1444

GAS
CITY OF TALLAHASSEE
PHONE: (850) 891-5135

POWER
CITY OF TALLAHASSEE POWER -
DISTRIBUTION
PHONE: (850) 891-5019

TRAFFIC OPERATIONS
CITY OF TALLAHASSEE OPERATIONS
PHONE: (850) 891-2080



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ARBOR PROPERTIES, INC.
4910 N. MONROE STREET
TALLAHASSEE, FL 32303

CLIENT NAME

ARBOR CROSSING PHASE II

PROJECT NAME

REVISIONS

T2675.0019-COVER

DATE 2026.05.21

CONTRACT # T2675.0019

DRAWN BY LVJ

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TALLAHASSEE, FLORIDA 32303
CONTACT: LARRY D. DAVIS (850) 222-5678

SEAL Ben B. Hood
State of Florida, Professional Engineer,
License No. 69167

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FOR CONSTRUCTION

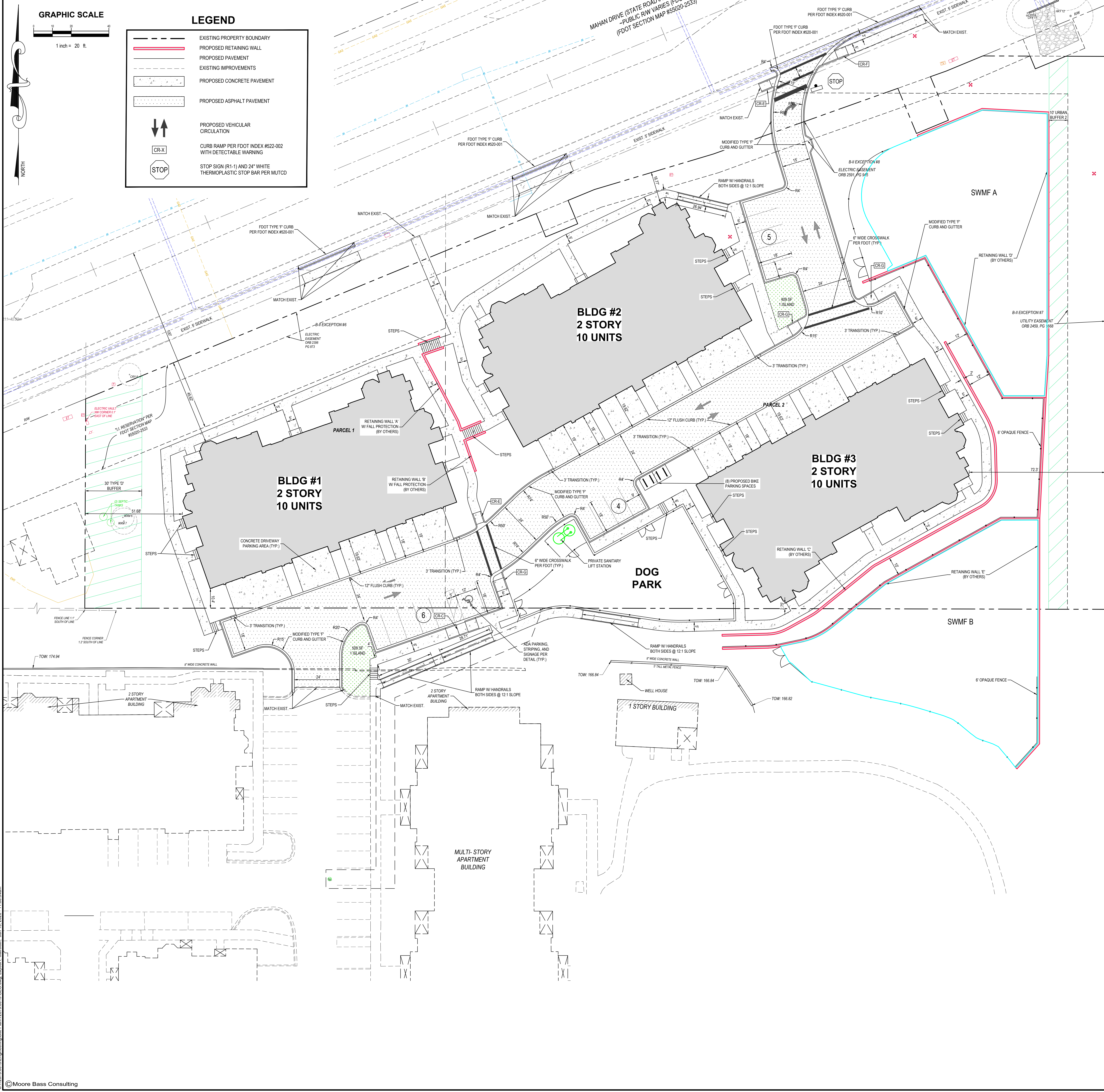
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COVER

SHEET

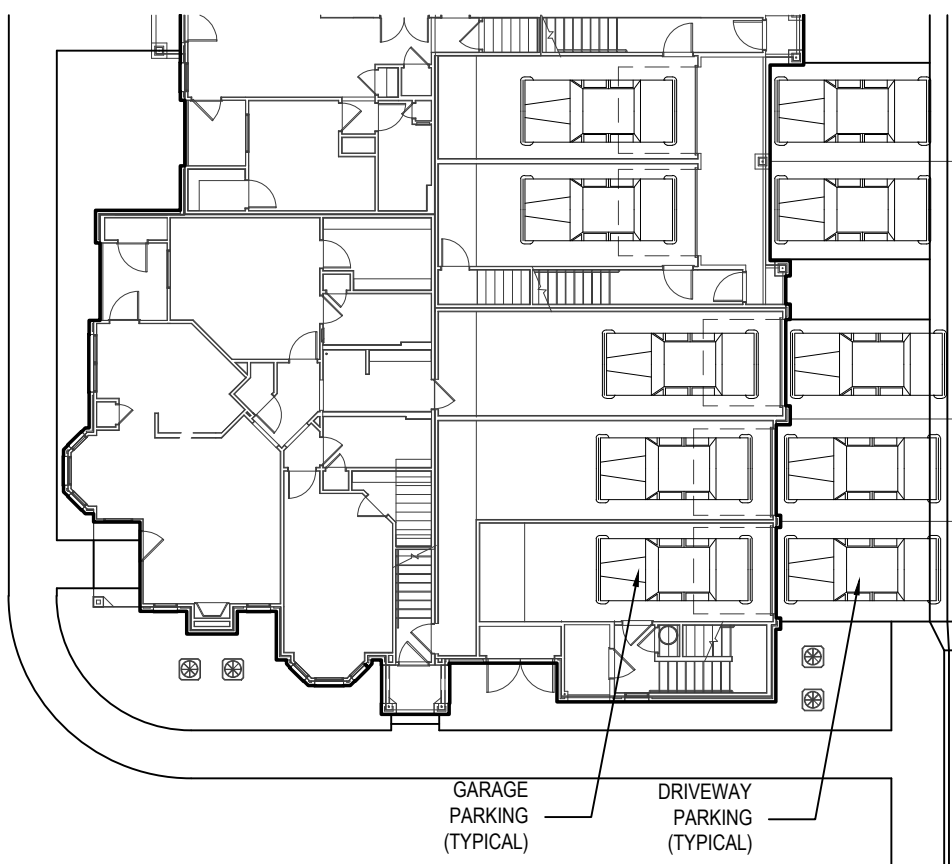
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SITE DATA				
1 PROPERTY TAX ID #:	112251 H2220, 112251 G2110			
2 ZONING:	MR-1			
3 TOTAL SITE AREA:	116,556 SF	2.684+ AC		
4 PROPOSED UNITS:	30 UNITS	30 UNITS		
5 TOTAL SWMF AREA ON-SITE:	SWMF A	10,209 SF	0.23 AC	
	SWMF B	3,951 SF	0.07 AC	
	TOTAL	13,260 SF	0.30 AC	
6 LANDSCAPE AREA (OPEN SPACE):	48,767 SF	1.12 AC	41.84%	
7 URBAN FOREST AREA:	REQUIRED:	0.27 AC		
	PROVIDED:	0.27 AC		
8 INTERIOR LANDSCAPE ISLANDS:	REQUIRED:	3 AC		
	PROVIDED:	4 AC		
9 REQUIRED PARKING:	75 SPACES			
10 PROPOSED PARKING:	STANDARD SPACES	15 SPACES		
	GARAGE AND DRIVEWAY ACCESSIBLE SPACES	60 SPACES		
	1 SPACES	1 SPACES		
	TOTAL	76 SPACES		
11 BICYCLE PARKING:	REQUIRED:	8 SPACES		
	PROVIDED:	8 SPACES		
12 ON-SITE EXISTING IMPERVIOUS:	38 SF	0.00 AC	0.03%	
13 ON-SITE PROPOSED IMPERVIOUS AREAS:	BUILDINGS	27,822 SF	0.639 AC	
	VEHICULAR USE AREA (VIA)	12,156 SF	0.279 AC	
	MISC. CONCRETE (SIDEWALK, CURB & GUTTER, ETC.)	14,551 SF	0.33 AC	
	TOTAL	54,529 SF	1.25 AC	46.78%
14 BUILDING SETBACKS:	15' FRONT			
	7.5' SIDE INTERIOR			
	15' SIDE CORNER			
	25' REAR			
15 DENSITY (20 UNITS PER ACRE ALLOWED)	11 UNITS/ACRE			

- GENERAL NOTES:**
- A VEHICULAR ACCESS, PEDESTRIAN, AND UTILITY EASEMENT SHALL BE EXECUTED BETWEEN THE SITE AND THE ADJACENT EXISTING APARTMENT COMPLEX PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - BEFORE APPLYING FOR BUILDING PERMIT, BUILDING PLANS MUST BE REVIEWED AND APPROVED BY THE CITY OF TALLAHASSEE ELECTRIC DEPARTMENT, SOLID WASTE DEPARTMENT, AND CROSS CONNECTION COORDINATOR.
 - ALL TRAFFIC CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH M.U.T.C.D., F.D.O.T., AND CITY OF TALLAHASSEE. ALL PAVEMENT MARKINGS, EXCEPT FOR PARKING STALL LINES, SHALL BE THERMOPLASTIC PER CURRENT F.D.O.T. STANDARDS. ALL PAVEMENT MARKINGS SHALL BE WHITE, EXCEPT CENTERLINES AND PAINTED CURBS. DISABLED WHEEL CHAIR ACCESS AISLES SHALL BE COLORED BLUE, PER THE FLORIDA ACCESSIBILITY CODE AND OTHER RELATIVE STANDARDS (ADAAG, FDOT, ETC.). DISABLED PARKING SPACES SHALL BE STRIPED PER FDOT.
 - THE APPLICANT WILL NEED TO APPLY FOR, AND RECEIVE, A BUILDING PERMIT FOR ANY AND ALL PROPOSED RETAINING WALLS EQUAL TO OR GREATER THAN 24" HEIGHT.
 - THE APPLICANT WILL NEED TO APPLY FOR, AND RECEIVE, A DEMOLITION PERMIT FOR ANY AND ALL EXISTING DEVELOPMENT PROPOSED FOR REMOVAL.
 - ALL PROVISIONS OF THE TALLAHASSEE LAND DEVELOPMENT CODE (TLOC), CHAPTER 7, SIGN CODE SHALL BE APPLICABLE AND SEPARATE PERMITS SHALL BE REQUIRED FOR SIGNS ACCORDINGLY.
 - SIDEWALKS WITHIN RIGHT OF WAY OR SIDEWALK EASEMENTS SHALL BE BUILT IN ACCORDANCE WITH FDOT INDEX #522-001.
 - ANY ON-SITE HAZARDOUS WASTE MUST BE DISPOSED OF PROPERLY PRIOR TO START OF DEVELOPMENT. A DEMOLISHING PERMIT MUST BE OBTAINED WHERE ALL HAZARDOUS WASTE (INCLUDING SOLVENTS, PAINTS, PESTICIDES, WASTE OIL, BATTERIES, FLUORESCENT LIGHTS, BALLASTS, OR OTHER MERCURY CONTAINING DEVICES, ETC.) MUST BE REMOVED AND TRANSPORTED OFF THE SITE BY THE PERMITTEE'S LICENSED CONTRACTOR OR AN APPROVED HAZARDOUS WASTE TRANSPORTER, RECYCLER, TO THE LEON COUNTY HAZARDOUS WASTE CENTER, LOCATED AT THE LEON COUNTY LANDFILL (850-606-1816), OR ANY APPROVED COMPANY THAT HANDLES SUCH WASTE.
 - ANY UNUSED WELL(S) MUST BE IDENTIFIED AND REPORTED TO THE AQUIFER PROTECTION OFFICE AND PROPERLY ABANDONED BY A LICENSED WELL CONTRACTOR FOLLOWING NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT GUIDELINES(850/539-5999). THE NWFWMD INSPECTION REPORT WILL BE REQUIRED AS PROOF OF PROPER ABANDONMENT.
 - IF UNSUPERVISED AND ISOLATED ABOVE GROUND FUEL STORAGE TANKS ARE TO BE LOCATED ON THE PROPERTY PRIOR TO OR DURING CONSTRUCTION, CITY OF TALLAHASSEE PLANS REVIEW STAFF MUST BE CONTACTED PRIOR TO TANK INSTALLATION.
 - STAIRS AND RAILINGS SHALL NOT BE CONSTRUCTED WITHIN THE COT RIGHT-OF-WAY.
 - SOLID WASTE SHALL BE SERVED BY THE ADJACENT APARTMENT COMPLEX.
 - CONTRACTOR SHALL RETURN ALL AREAS DISTURBED DURING THE CONSTRUCTION TO ORIGINAL OR BETTER CONDITION. ITEMS TO BE REPLACED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE PAVEMENT, BASE, ASPHALT PAVEMENT, SOD, SHRUBBERY, LANDSCAPING, WALLS, WALKS, CURBS, PAVEMENT MARKINGS, ETC. ALL REPLACEMENT ITEMS SHALL BE INSTALLED TO MATCH EXISTING REMAINDER WITH REGARD TO COLOR, FINISH SIZE, DEPTH, THICKNESS, TYPE, AND QUALITY. PHOTOGRAPHICAL DOCUMENTATION OF PRE-DEVELOPMENT CONDITIONS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE SITE FENCING WITH OWNER AND/OR ARCHITECT.



DRIVEWAY PARKING DETAIL

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ARBOR PROPERTIES, INC.
4910 N. MONROE STREET
TALLAHASSEE, FL 32303

CLIENT NAME

PROJECT NAME

REVISIONS

T2675.0019-GEO

DATE 2026.05.21

CONTRACT # T2675.0019

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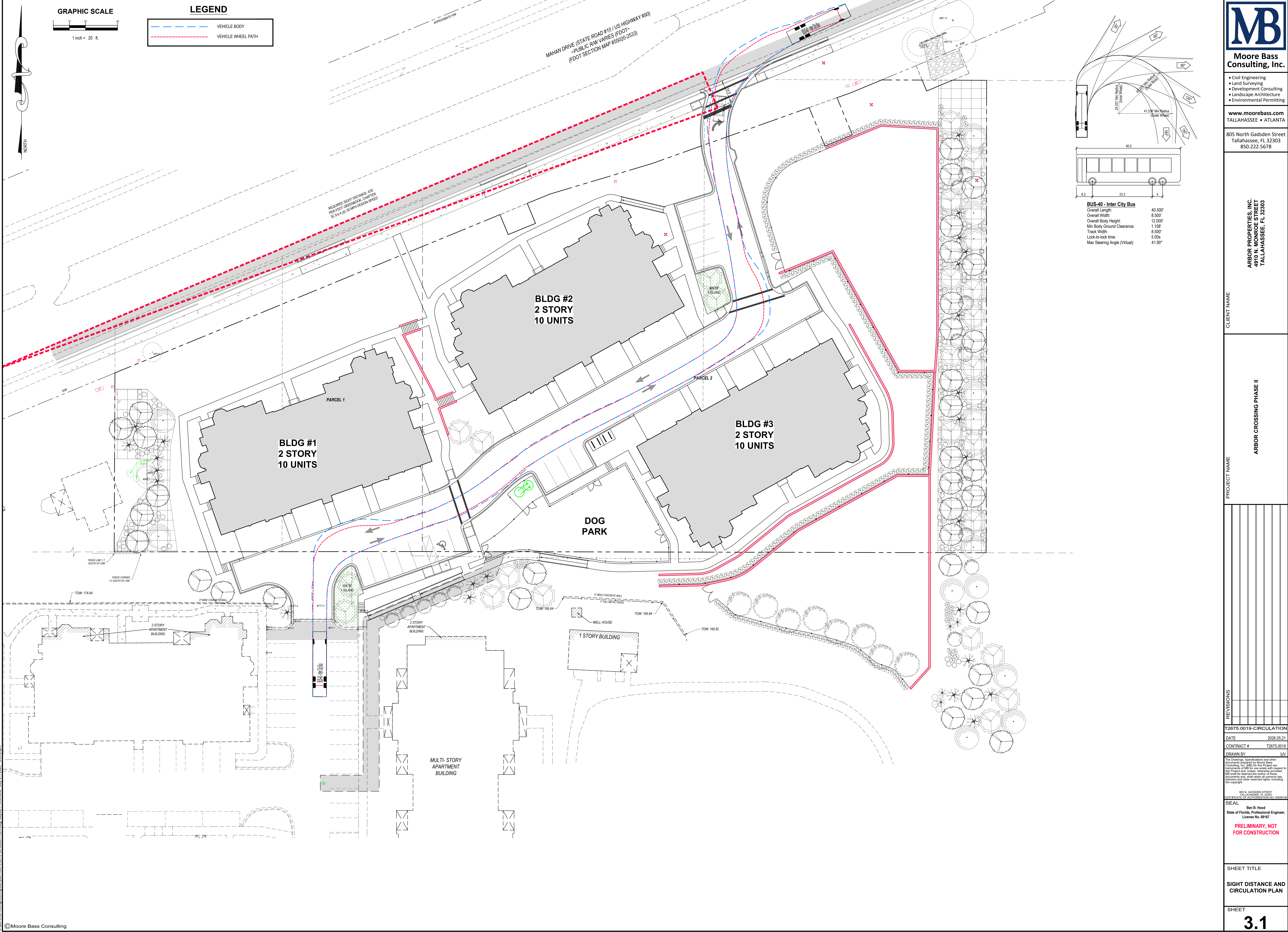
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License No. 69167

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SHEET TITLE
Geometry Plan
####

SHEET
3.0



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ARBOR PROPERTIES, INC.

4910 N. MOORE STREET

TALLAHASSEE, FL 32303

CLIENT NAME

PROJECT NAME

ARBOR CROSSING PHASE II

REVISIONS

T2675.0019-CIRCULATION

DATE2028.05.21

CONTRACT #T2675.0019

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STATE OF FLORIDA PROFESSIONAL ENGINEER

00000100

SEAL

Ben B. Hood

State of Florida, Professional Engineer,

License No. 69167

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SHEET TITLE

SIGHT DISTANCE AND CIRCULATION PLAN

SHEET

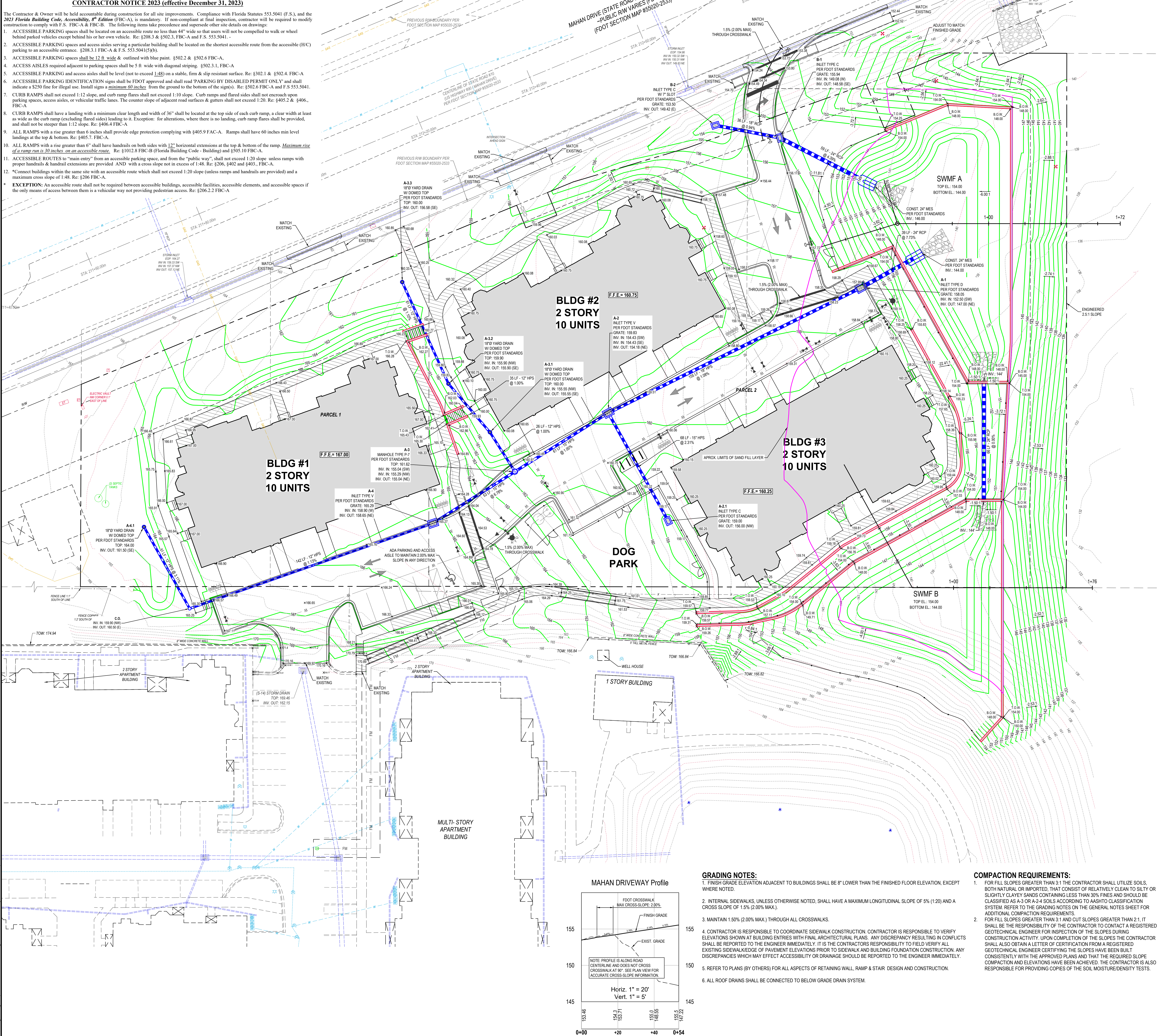
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CONTRACTOR NOTICE 2023 (effective December 31, 2023)

The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2023 Florida Building Code, Accessibility, 8th Edition (FBC-A), is mandatory. If non-compliant at final inspection, contractor will be required to modify construction to comply with F.S. FBC-A & FBC-B. The following items take precedence and supersede other site details on drawings:

1. ACCESSIBLE PARKING spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles except behind his or her own vehicle. Re: §208.3, FBC-A and F.S. 553.5041.
2. ACCESSIBLE PARKING spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §208.3.1 FBC-A & F.S. 553.5041 (5)(b).
3. ACCESSIBLE PARKING spaces shall be 12 ft. wide & outlined with blue paint. §502.2 & §502.6 FBC-A.
4. ACCESS AISLES required adjacent to parking spaces shall be 5 ft. wide with diagonal striping. §502.3.1, FBC-A.
5. ACCESSIBLE PARKING and access aisles shall be level (not to exceed 1:48) on a stable, firm & slip resistant surface. Re: §302.1 & §502.4 FBC-A.
6. ACCESSIBLE PARKING IDENTIFICATION signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60 inches from the ground to the bottom of the sign(s). Re: §502.6 FBC-A and F.S. 553.5041.
7. CURB RAMPS shall not exceed 1:12 slope, and curb ramp flares shall not exceed 1:10 slope. Curb ramps and flared sides shall not encroach upon parking spaces, access aisles, or vehicular traffic lanes. The counter slope of adjacent road surfaces & gutters shall not exceed 1:20. Re: §405.2 & §406, FBC-A.
8. CURB RAMPS shall have a landing with a minimum clear length and width of 36" shall be located at the top side of each curb ramp, a clear width at least as wide as the curb ramp (excluding flared sides) leading to it. Exception: for alterations, where there is no landing, curb ramp flares shall be provided, and shall not be steeper than 1:12 slope. Re: §406.4 FBC-A.
9. ALL RAMPS with a rise greater than 6 inches shall provide edge protection complying with §405.9 FAC-A. Ramps shall have 60 inches min level landings at the top & bottom. Re: §405.7, FBC-A.
10. ALL RAMPS with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Maximum rise of a ramp run is 30 inches on an accessible route. Re: §1012.8 FBC-B (Florida Building Code - Building) and §505.10 FBC-A.
11. ACCESSIBLE ROUTES to "main entry" from an accessible parking space, and from the "public way", shall not exceed 1:20 slope, unless ramps with proper handrails & handrail extensions are provided. AND with a cross slope not in excess of 1:48. Re: §206, §402 and §403, FBC-A.
12. *Connect buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. Re: §206 FBC-A.

EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FBC-A.



LEGEND

- PROPOSED ADA PATH
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FEATURES
- PROPOSED FEATURES
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- ACCESSIBLE BUILDING ENTRY

GRAPHIC SCALE

1 inch = 20 ft.

MOORE BASS CONSULTING, INC.

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CLIENT NAME

ARBOR PROPERTIES, INC.
4910 N. MOORE STREET
TALLAHASSEE, FL 32303

PROJECT NAME

ARBOR CROSSING PHASE II

REVISIONS

NO.	DATE	DESCRIPTION
1	2023.05.21	ISSUED FOR PERMIT

T2675.0019-GRAD

DATE 2023.05.21

CONTRACT # T2675.0019

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SEAL Ben B. Hood
State of Florida, Professional Engineer,
License No. 69167

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NOTE: FOR ALL WALLS 30" AND HIGHER, CONTRACTOR SHALL PROVIDE FALL PROTECTION IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE.

NOTE: SIDEWALKS ALONG BUILDING SHALL HAVE A MAXIMUM SLOPE OF 5%. ANY SIDEWALKS STEEPER THAN 5% SHALL BE DESIGNATED AS A RAMP AND PROVIDED WITH LANDINGS AND HANDRAILS ON BOTH SIDES. RAMPS SHALL NOT BE STEEPER THAN 6.33%.

GRADING NOTES:

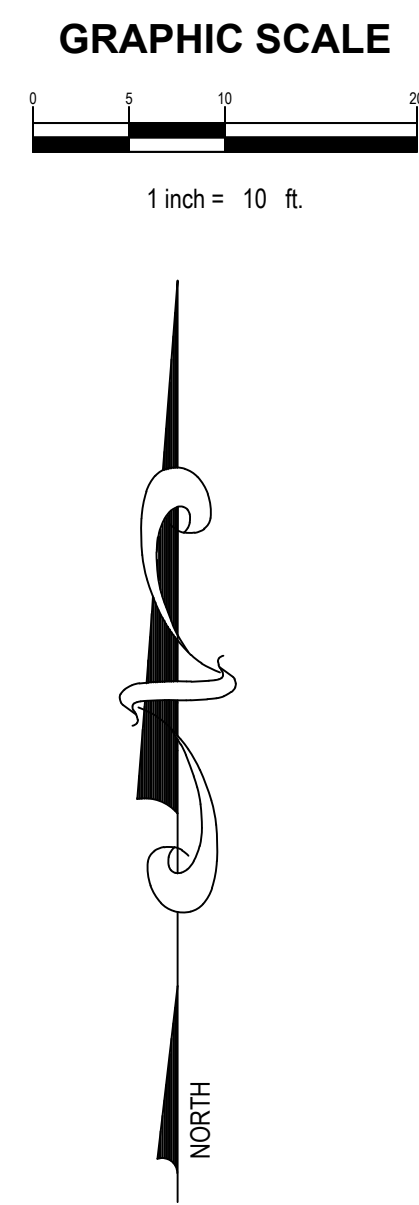
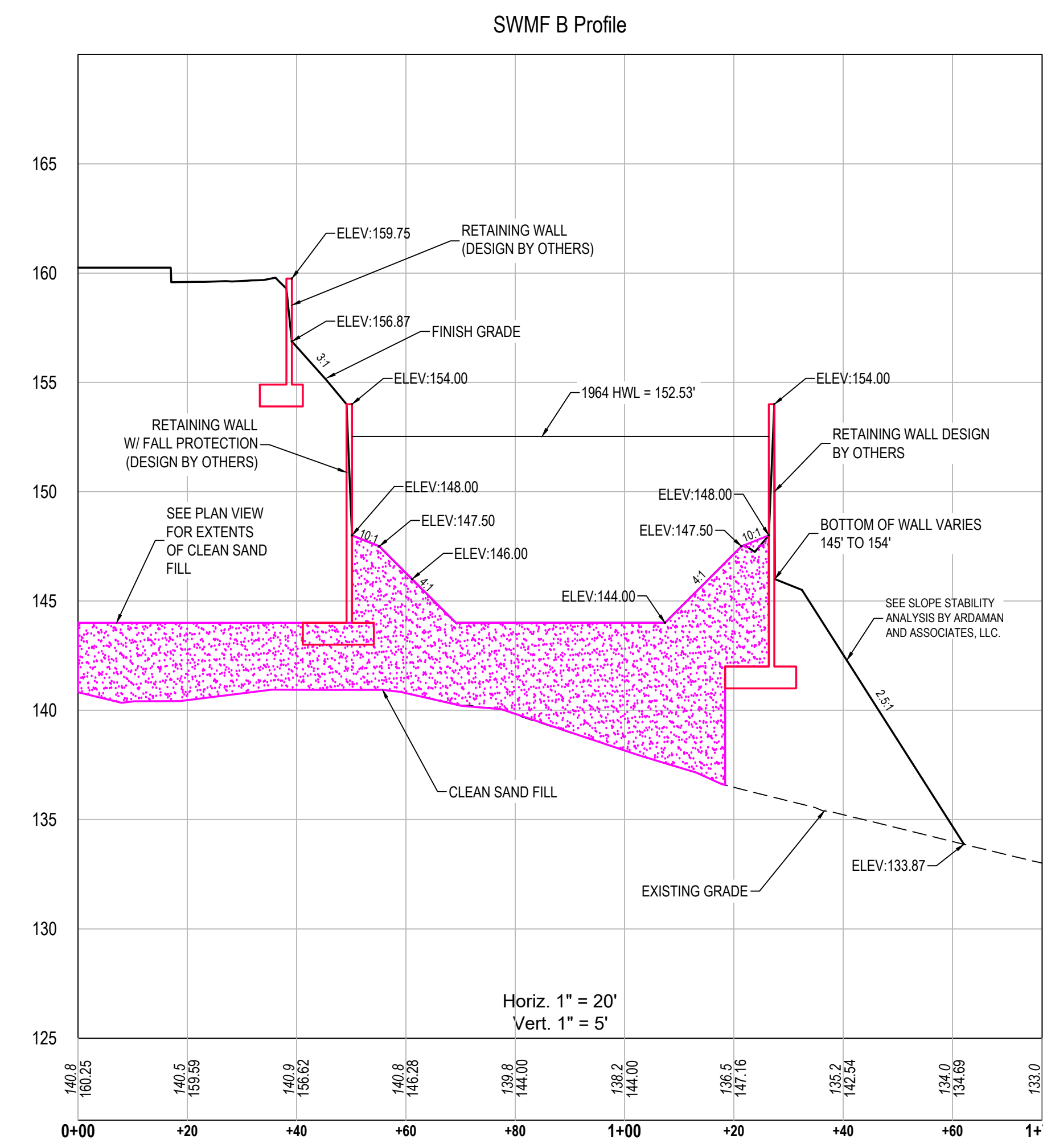
1. FINISH GRADE ELEVATION ADJACENT TO BUILDINGS SHALL BE 8" LOWER THAN THE FINISHED FLOOR ELEVATION, EXCEPT WHERE NOTED.
2. INTERNAL SIDEWALKS, UNLESS OTHERWISE NOTED, SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A CROSS SLOPE OF 1.5% (2:00% MAX.).
3. MAINTAIN 1.50% (2.00% MAX.) THROUGH ALL CROSSWALKS.
4. CONTRACTOR IS RESPONSIBLE TO COORDINATE SIDEWALK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO VERIFY ELEVATIONS SHOWN AT BUILDING ENTRIES WITH FINAL ARCHITECTURAL PLANS. ANY DISCREPANCY RESULTING IN CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING SIDEWALK EDGES OF PAVEMENT ELEVATIONS PRIOR TO SIDEWALK AND BUILDING FOUNDATION CONSTRUCTION. ANY DISCREPANCIES WHICH MAY EFFECT ACCESSIBILITY OR DRAINAGE SHOULD BE REPORTED TO THE ENGINEER IMMEDIATELY.
5. REFER TO PLANS (BY OTHERS) FOR ALL ASPECTS OF RETAINING WALL, RAMP & STAIR DESIGN AND CONSTRUCTION.
6. ALL ROOF DRAINS SHALL BE CONNECTED TO BELOW GRADE DRAIN SYSTEM.

COMPACTION REQUIREMENTS:

1. FOR FILL SLOPES GREATER THAN 3:1 THE CONTRACTOR SHALL UTILIZE SOILS, BOTH NATURAL OR IMPORTED, THAT CONSIST OF RELATIVELY CLEAN TO SILTY OR SLIGHTLY CLAYEY SANDS CONTAINING LESS THAN 30% FINES AND SHOULD BE CLASSIFIED AS A-3 OR A-4 SOILS ACCORDING TO AASHTO CLASSIFICATION SYSTEM. REFER TO THE GRADING NOTES ON THE GENERAL NOTES SHEET FOR ADDITIONAL COMPACTION REQUIREMENTS.
2. FOR FILL SLOPES GREATER THAN 3:1 AND CUT SLOPES GREATER THAN 2:1, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT A REGISTERED GEOTECHNICAL ENGINEER FOR INSPECTION OF THE SLOPES DURING CONSTRUCTION ACTIVITY. UPON COMPLETION OF THE SLOPES THE CONTRACTOR SHALL ALSO OBTAIN A LETTER OF CERTIFICATION FROM A REGISTERED GEOTECHNICAL ENGINEER CERTIFYING THE SLOPES HAVE BEEN BUILT CONSISTENTLY WITH THE APPROVED PLANS AND THAT THE REQUIRED SLOPE COMPACTION AND ELEVATIONS HAVE BEEN ACHIEVED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING COPIES OF THE SOIL MOISTURE/DENSITY TESTS.

FLOOD ZONE INFORMATION:

BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP 12073C 0304 F, REVISED AUGUST 18, 2009, THE SUBJECT PROPERTY IS LOCATED IN ZONE "X".



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ARBOR PROPERTIES, INC.
4910 N. MONROE STREET
TALLAHASSEE, FL 32302

CLIENT NAME

ARBOR CROSSING PHASE II

[illegible]

T2675.0019-GRAD

DATE 2026.05.21

CONTRACT # T2675.0019

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State of Florida, Professional Engineer,
License No. 69167

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FOR CONSTRUCTION

SHEET TITLE

**SWMF B DETAIL
SHEET**

SHEET

4.2

[illegible]

DATE	2026.05.21
CONTRACT #	T2675.0019
DRAWN BY	UJW

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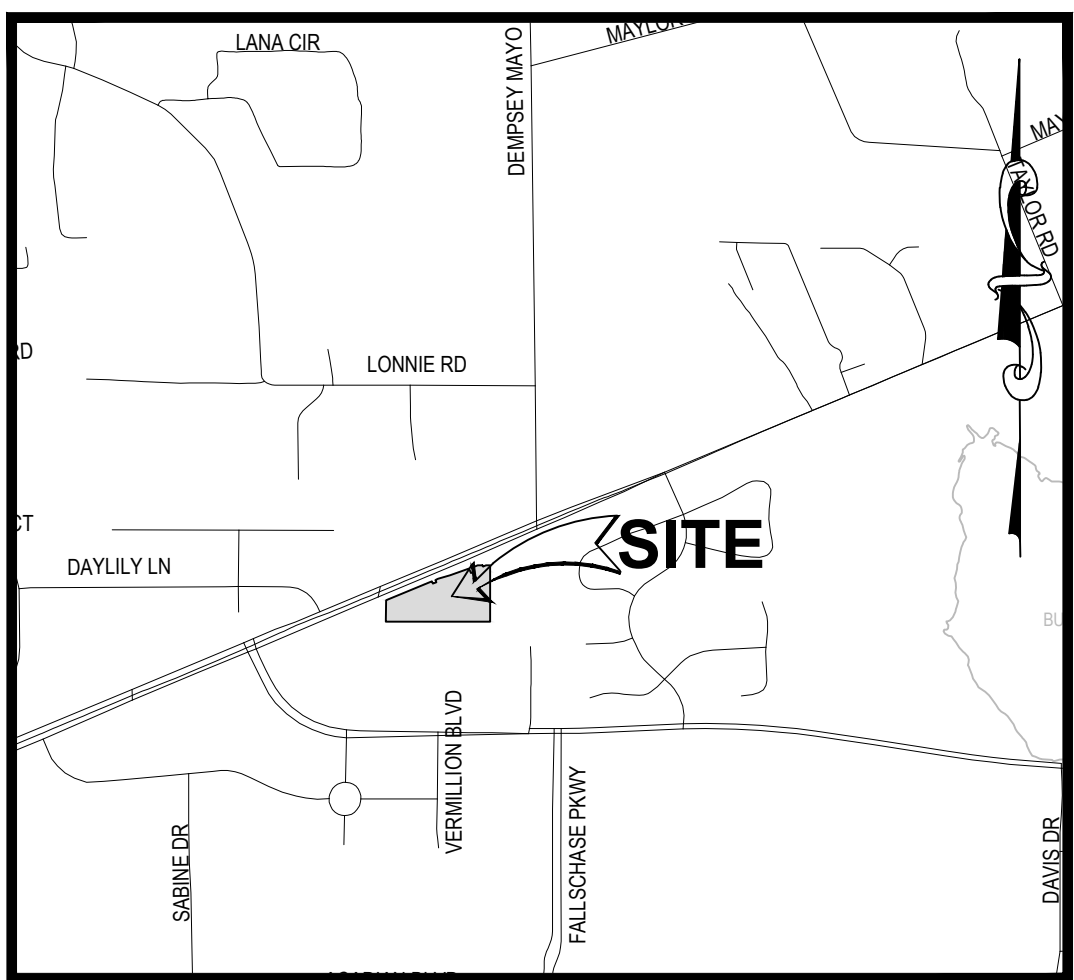
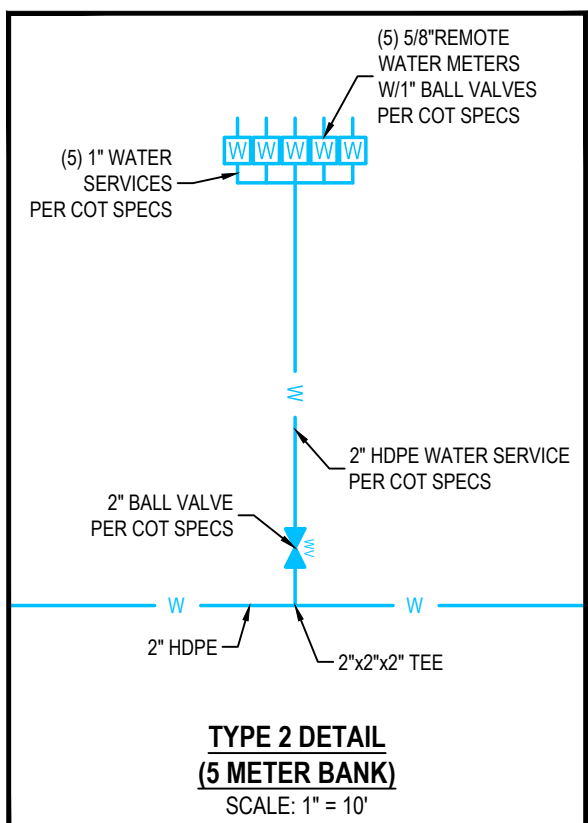
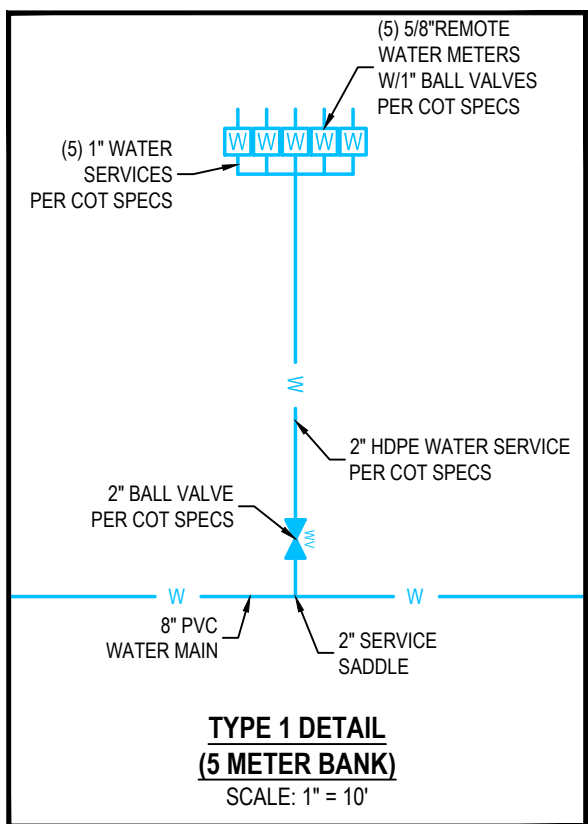
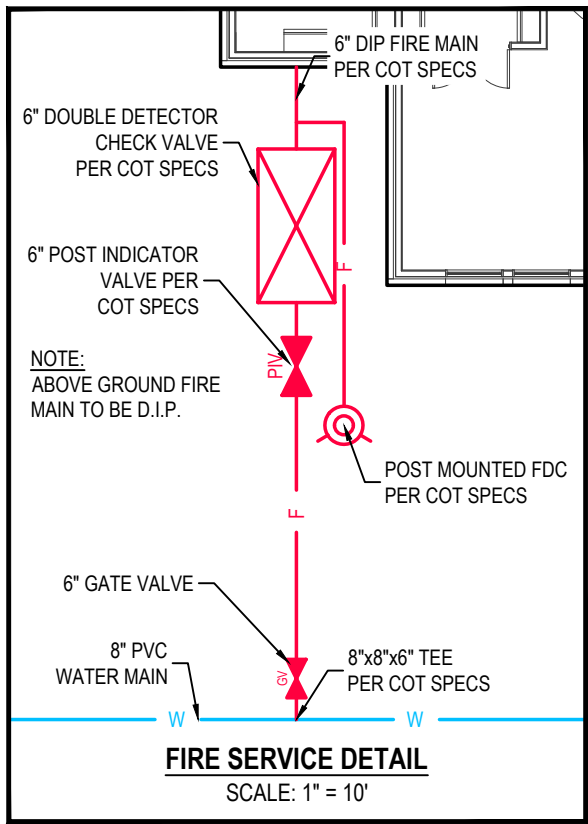
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FOR CONSTRUCTION

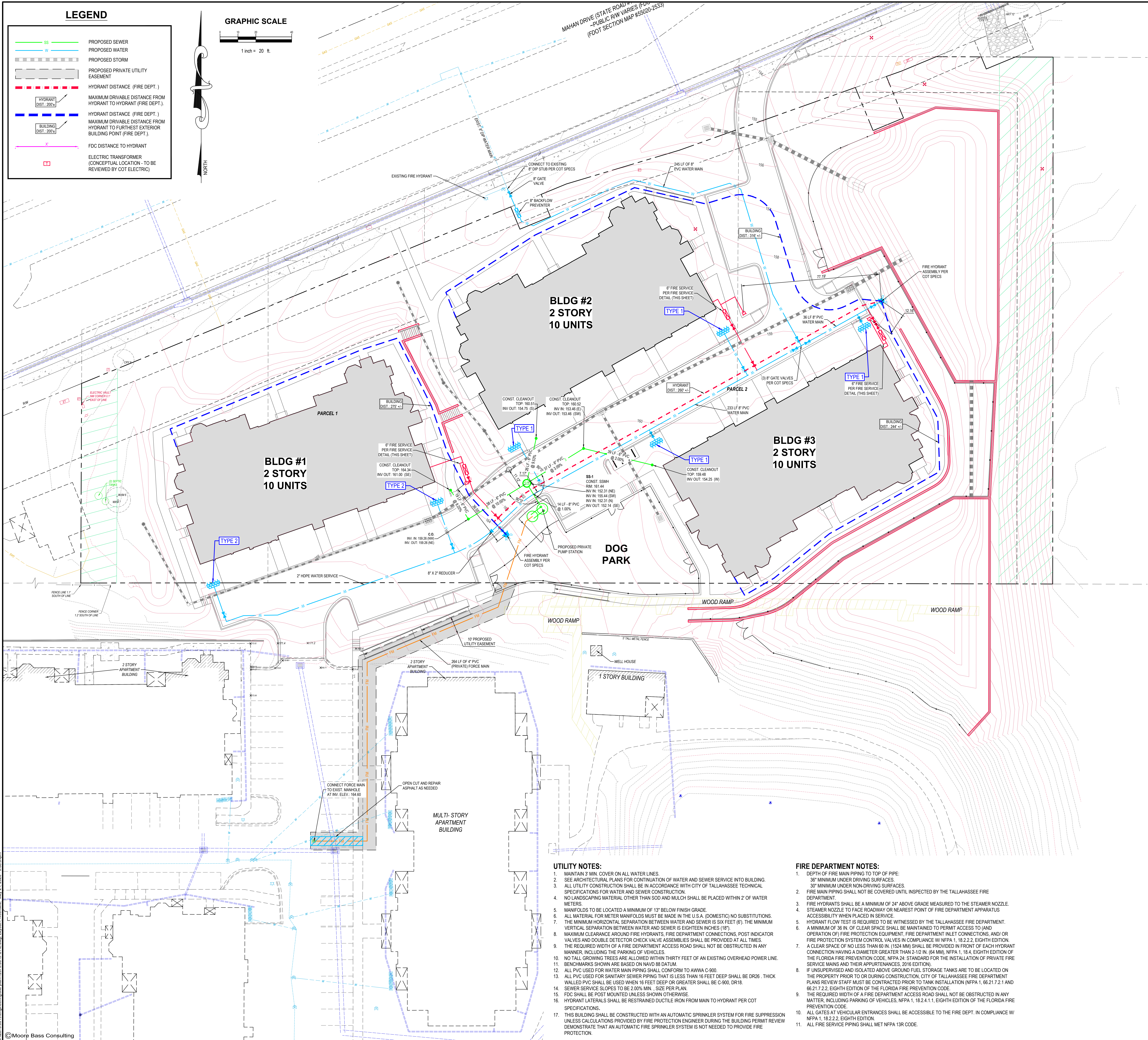
CONCEPT UTILITY
PLAN

SHEET

5.0



LOCATION MAP
SCALE: 1" = 1000'



UTILITY NOTES:

1. MAINTAIN 3' MIN. COVER ON ALL WATER LINES.
2. SEE ARCHITECTURAL PLANS FOR CONTINUATION OF WATER AND SEWER SERVICE INTO BUILDING.
3. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TALLAHASSEE TECHNICAL SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.
4. NO LANDSCAPING MATERIAL OTHER THAN SOD AND BULW FINISH BE PLACED WITHIN 2' OF WATER METER.
5. MANIFOLDS TO BE LOCATED A MINIMUM OF 13' BELOW FINISH GRADE.
6. ALL MATERIAL, FOR WATER MANIFOLDS MUST BE MADE IN THE U.S.A. (DOMESTIC) NO SUBSTITUTIONS.
7. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER IS SIX FEET (6'). THE MINIMUM VERTICAL SEPARATION BETWEEN WATER AND SEWER IS FIFTEEN INCHES (15").
8. MAXIMUM CLEARANCE AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTIONS, POST INDICATOR VALVES AND DOUBLE CHECK VALVE ASSEMBLIES SHALL BE PROVIDED AT ALL TIMES.
9. THE WIDTH OF A FIRE LANE OR FIRE ESCAPE ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES.
10. NO TALL GROWING TREES ARE ALLOWED WITHIN THIRTY FEET OF AN EXISTING OVERHEAD POWER LINE.
11. BENCHMARKS SHOWN ARE BASED ON THE FOLLOWING:
12. ALL PVC USED FOR WATER MAIN PIPING SHALL CONFORM TO ANWWA C-900.
13. ALL PVC USED FOR SANITARY SEWER PIPING THAT IS LESS THAN 18" DEPTH BE DR26, THICK WALL, 15' MIN. COVER SHALL BE USED. ALL 18" AND DEEPER SHALL BE C-900, DR18.
14. ALL SANITARY SEWER SERVICE SLOPES TO BE 2.0% MIN., SIZE PER PLAN.
15. FDC SHALL BE POST MOUNTED UNLESS SHOWN OTHERWISE.
16. HYDRANT LATERALS SHALL BE RESTRAINED DUCTILE IRON FROM MAIN TO HYDRANT PER COT SPECIFICATIONS.
17. BUILDING SHALL BE CONSTRUCTED WITH AN AUTOMATIC SPRINKLER SYSTEM FOR FIRE SUPPRESSION UNLESS CALCULATIONS PROVIDED BY FIRE PROTECTION ENGINEER DURING THE BUILDING PERMIT REVIEW DEMONSTRATE THAT AN AUTOMATIC FIRE PROTECTION SYSTEM IS NOT NEEDED TO PROVIDE FIRE PROTECTION.

FIRE DEPARTMENT NOTES:

1. DEPTH OF FIRE MAIN PIPING TO TOP OF PIPE:
 - 36" MINIMUM UNDER DRIVING SURFACES
 - 30" MINIMUM UNDER NON-DRIVING SURFACES
2. FIRE MAIN PIPING SHALL NOT BE COVERED UNTIL INSPECTED BY THE TALLAHASSEE FIRE DEPARTMENT.
3. FIRE HYDRANTS SHALL BE A MINIMUM OF 24" ABOVE GRADE MEASURED TO THE STEAMER NOZZLE. STEAMER NOZZLE TO FACE ROADWAY OR NEAREST POINT OF FIRE DEPARTMENT APPARATUS ACCESSIBILITY WHEN PLACED IN SERVICE.
4. HYDRANT FLOW TEST IS REQUIRED TO BE WITNESSED BY THE TALLAHASSEE FIRE DEPARTMENT.
5. A MINIMUM OF 38 IN. OF CLEAR SPACE SHALL BE MAINTAINED TO PERMIT ACCESS TO (AND) REMOVAL OF FIRE PROTECTION EQUIPMENT. FIRE DEPARTMENT INLET CONNECTIONS, AND/OR FIRE PROTECTION SYSTEM CONTROL VALVES IN COMPLIANCE WITH NFPA 1, 18.2.2, EIGHTH EDITION, A CLEAR SPACE OF NO LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT AND FIRE PROTECTION EQUIPMENT. CLEAR SPACE SHALL BE MAINTAINED TO 10 FT. (3048 MM) UNDER THE FLORIDA FIRE PREVENTION CODE, NFPA 24: STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES, 2016 EDITION.)
6. IF UNSUPervised AND ISOLATED ABOVE GROUND FUEL STORAGE TANKS ARE TO BE LOCATED ON THE PROJECT OR PRIOR TO COMMENCEMENT OF CONSTRUCTION, CITY OF TALLAHASSEE FIRE DEPARTMENT PLANS REVIEW STAFF MUST BE CONTRACTED PRIOR TO TANK INSTALLATION (NFPA 1, 66.2.1.2.1 AND 66.2.1.2.2, EIGHTH EDITION OF THE FLORIDA FIRE PREVENTION CODE).
7. THE REQUIRED WIDTH OF A FIRE DEPARTMENT ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER INCLUDING PARKING OF VEHICLES. NFPA 1, 18.2.4.1, EIGHTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
8. ALL GATES AT VEHICULAR ENTRANCES SHALL BE ACCESSIBLE TO THE FIRE DEPT. IN COMPLIANCE WITH NFPA 1, 18.2.2.2.2, EIGHTH EDITION OF THE FLORIDA FIRE PREVENTION CODE.
9. ALL GATE SERVICE PIPING SHALL MET NFPA 13R CODE.



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ARBOR CROSSING PHASE II

[illegible]

DATE 2026.05.21

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